

WARD: Avonmouth & Lawrence
Weston **CONTACT OFFICER:** Stuart Langer

SITE ADDRESS: 24 Grove Road Coombe Dingle Bristol BS9 2RL

APPLICATION NO: 16/05169/X Variation/Deletion of a Condition

DETERMINATION DEADLINE: 19 May 2017

Application to vary conditions 6 (Reptile Method Statement), 8 (Bird/Bat boxes), 9 (Badger Protection) and 22 (Listed of Approved Plans) attached to consent granted under app. No. 13/05391/F - proposed amendment to conditions 6, 8 and 9 to comply with approved plan and amended plans to reflect changes to development (Condition 22).

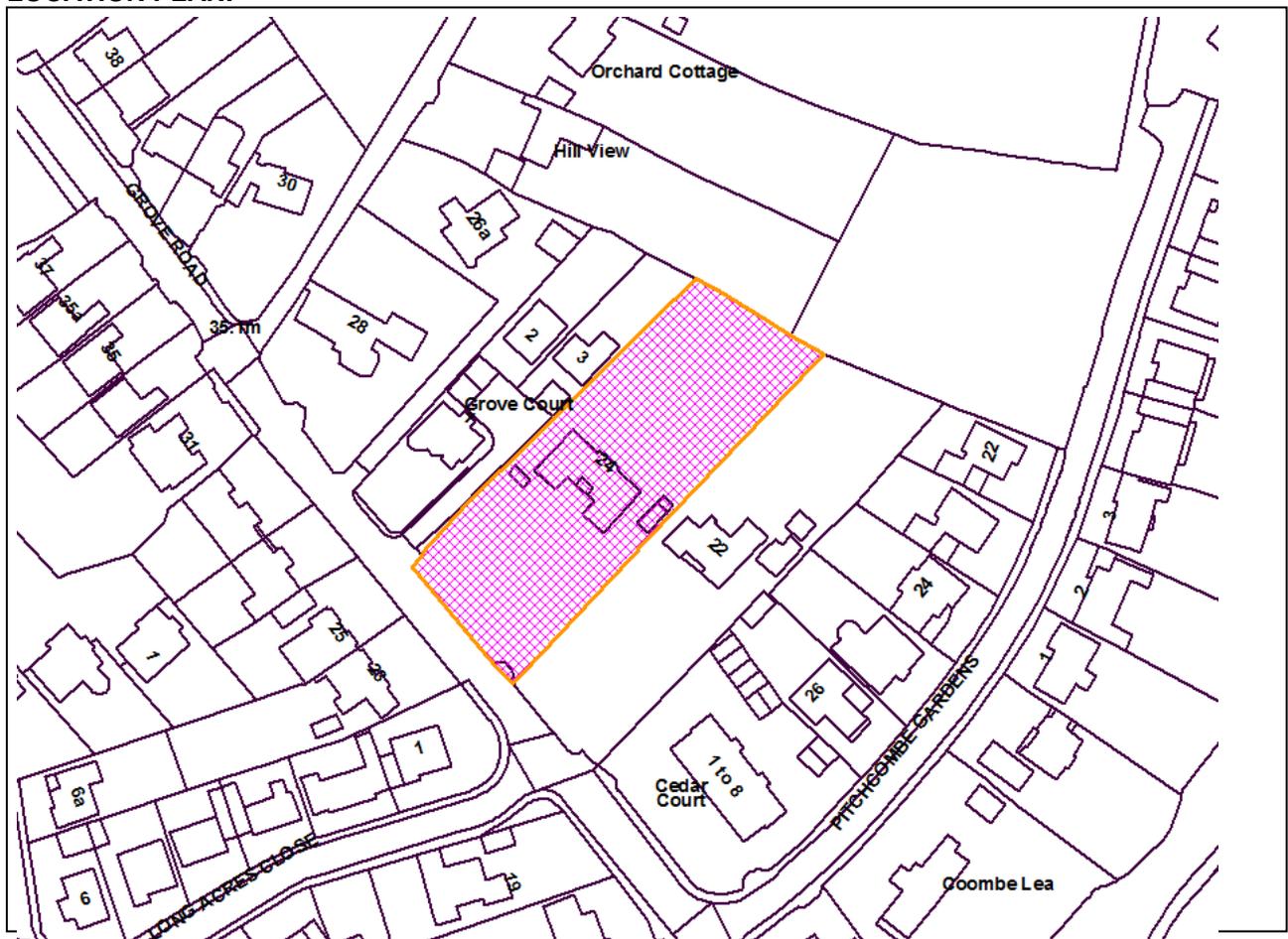
RECOMMENDATION: Grant subject to Condition(s)

AGENT: Aspect360 (SW) Ltd
G17 Kestrel Court
1 Harbour Road
Portishead
Bristol BS20 7AN

APPLICANT: Land Promotions (Estates) Ltd
c/o agent

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 17 May 2017**Application No. 16/05169/X: 24 Grove Road Coombe Dingle Bristol BS9 2RL****INTRODUCTION AND SUMMARY**

This application is being brought before the committee due to the planning history of the site and the level of public interest regarding the proposals.

This report discusses an application to vary conditions to the previously approved planning application reference 13/05391/F which was approved at the Bristol City Council Development Control (North) Committee on 23rd April 2014 and granted on 6th May 2014. The developers have begun the construction of development on this site, however this was commenced prior to the approval of all pre-commencement conditions (meaning it was unauthorised), and it is understood that this development work has now been paused. In addition to this, the development being constructed is not in accordance with the approved plans. The developers have therefore submitted this application to vary the approved plans to regularise the situation between the existing consent and what is now intended to be built.

The key changes are amendments to the design of the buildings on the site to provide larger footprints and floor areas, to increase the eaves heights, to reduce the ridge heights and to amend the materials. Other changes are also proposed relating to ecological requirements, which have been approved under previous applications.

It is noted that a number of objections have been received on the basis that unauthorised work has been carried out on site, which should be subject to enforcement action. Members should be aware that this issue is not material to the decision on this application, which can only be determined on the basis of the merits of the scheme. If, when assessed against the policies, it is determined that the development is acceptable, planning permission should be granted. The expediency of taking enforcement action will be considered should it be concluded that this application would result in additional harm, and thereby refused.

SITE DESCRIPTION

The application site is located to the north-eastern side of Grove Road, Avonmouth and Lawrence Weston. Until recently a large detached 1920s chalet style bungalow was set centrally within the site, with large grounds. This had two detached garages accessed via a dirt drive located down the south-eastern boundary. The property has now been demolished and work to construct new development on the site has begun, and has since paused.

The site is located within the Kingsweston and Trym Valley Conservation Area, which was extended to cover the Coombe Dingle area in 1988. The site also holds a number of trees subject to Tree Preservation Order No 1158/R located principally along the south-western and north-western boundaries of the front garden but also with two trees located to the rear garden. The wider surrounding character within the Conservation Area is varied, with distinct groupings of development which appear to be linked to the original field boundaries when compared against historic ordinance survey plans. This primarily is formed by a combination of large detached houses set within expansive gardens and more suburban detached and semi-detached properties of differing eras. This provides a semi-rural feel to some sections with no pavement to large areas of Grove Road. The notable exception is the 1970s apartment block to Cedar Court to the south of the site on the junction of Grove Road with Pitchcombe Gardens.

There is land historically associated with the application site to the north-east, which bounds onto Pitchcombe Gardens, is the subject of a separate planning consent for redevelopment (13/05387/F) that was varied through a recent application 16/05180/X. Construction of that development is well underway by the same developer as is currently undertaking work on this site. To the south-east is a two-storey dwellinghouse set within a similarly sized garden. To the north-west is located Nos. 1 and

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2 Grove Court, a late 1980s infill development set within the garden of No. 24b Grove Road. Directly opposite are the more suburban forms of the semi-detached pairs along the south-western side of Grove Road. Grove Road itself has a rural character by virtue of the lack of pavements and strong vegetated boundaries.

To the north are the large detached houses of Hill View, Orchard Cottage and Pennywell set within large plots located off a perpendicular extension of Grove Road. While these properties remain distinct from the application site by virtue of being set far back and well screened from Grove Road and to a lesser extent from within the site, their large open plots form part of a transition from the Blaise Estate to the more suburban forms further within Coombe Dingle and a key component of the extension of the Kingsweston Conservation Area (as then known) to cover the Coombe Dingle area. Beyond this adjoining land to the north is located the Grade II* listed park and garden of the Blaise Castle Estate identified by the woodland. This is also a Site of Nature Conservation Interest.

RELEVANT PLANNING HISTORY

There is a significant and complex planning history to the site. The site is linked to (by being part of the curtilage of) Land adjoining Pitchcombe Gardens, which itself is being developed and has a complex planning history. The relevant planning history for this site, and for Land adjoining Pitchcombe Gardens is set out below:

TPO No 302 was confirmed on 24th May 1988. TPO 302 identified 12 individual trees, 10, T1 -10 inclusive, located in the rear garden and 2 trees, T11 and T12 each located in the front garden. In addition to the individually named trees TPO 302 identified three separate groups of unspecified trees to include white birch, silver birch, ash and yew.

In December 2010 applications were registered to complete some tree works and felling to protected trees. Following registration and subsequent discussion with the City Council's Arboricultural Officer changes were made to the originally intended schedule of works to ensure retention of several mature trees. On 21st January 2011 a decision was taken 10/05322/VC to permit some tree felling and tree surgery. TPO 302 was revoked and a new TPO 1158/R was confirmed the same day to include a number of mature trees not previously protected. TPO 1158 identifies 25 individual trees.

Application 11/04779/F for Erection of 4 dwellings (and demolition of single detached garage), with associated vehicular access from Grove Road; provision of private gardens and new landscaping, and works to existing trees was refused following officer feedback that the scheme would likely be refused. This arranged one new build house to the rear garden of Grove Road and 3 new houses within the land adjacent to Pitchcombe Gardens, with all accessed from Grove Road. This was withdrawn.

Application 12/03546/F for Erection of 2 no. dwellings with associated vehicular access from Pitchcombe Gardens; provision of private gardens and new landscaping and works to existing trees was refused on 22nd October 2012 for the following reasons:

1. The proposed development would result in the unsatisfactory loss of a substantial portion of an existing private garden together with the creation of new homes within the curtilage of an existing dwelling which is neither within or near a designated centre nor close to any main public transport route(s). For the reasons given proposals would result in an unsustainable form of development and would be contrary to policy BCS20 of the Bristol Core Strategy 2011, policy DM19 of the Draft Management Policies 2012 and the National Planning Policy Framework 2012.
2. The proposed development by virtue of its location, scale, layout and form, would fail to either preserve or enhance the character and appearance of the Kingsweston and Trym Valley Conservation Area. For the reasons given the proposal is contrary to Bristol Local Plan Policies NE3, B2, B6, and B15 together with policies BCS20, BCS21 and BCS22 of the Core Strategy

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(June 2011) and Site Allocations and Development Management Policies DM 25, DM 26, DM27 and DM29; March 2012.

3. The proposed development would result in an unjustified and unacceptable loss of private open space that makes an important positive contribution to the green infrastructure network of the neighbourhood. For the reason given proposals are contrary to Policy NE1, NE3 and NE11 of the Bristol Local Plan, Policy BCS9 of the Core Strategy (June 2011) and DM15 of Development Management Preferred Approach Document (March 2012) .

This was subsequently dismissed at appeal (ref: APP/Z0116/A/12/2186714/NWF) on 10th April 2013 with the inspector upholding only reason 2 (impact on the Conservation Area) of the reasons for refusal.

Application 12/05559/H for Refurbishment of existing building at 24 Grove Road including new first floor. Partial demolition, including roof and bay window. Demolition of existing garage and new double garage proposed. Was refused on 07th February 2013 for the following reason: "The proposed development by reason of its proposed height, scale, massing and detailed design would fail either to preserve or enhance the character and appearance of the Kingsweston and Trym Valley Conservation Area. For the reasons given proposals are contrary to policies BCS21 and BCS22 of the Core Strategy (June 2011)."

Application 13/02768/H for Single storey extension to rear of property was granted on 19th August 2013.

Application 13/05391/F for Demolition of existing dwelling and erection of 2 dwellings, with relocation of vehicular access, provision of private gardens, new landscaping and works existing trees was granted on 6th May 2014, a resolution to grant at the committee meeting on 23rd April 2014. The application to which this report relates is to vary the proposals approved under this application.

The following history is of interest in the surrounding area, specifically on the land adjoining Pitchcombe Gardens site, and other nearby properties:

Application 12/03546/F for Erection of 2 no. dwellings with associated vehicular access from Pitchcombe Gardens; provision of private gardens and new landscaping and works to existing trees was refused on 22nd October 2012 for the following reasons:

1. The proposed development would result in the unsatisfactory loss of a substantial portion of an existing private garden together with the creation of new homes within the curtilage of an existing dwelling which is neither within or near a designated centre nor close to any main public transport route(s). For the reasons given proposals would result in an unsustainable form of development and would be contrary to policy BCS20 of the Bristol Core Strategy 2011, policy DM19 of the Draft Management Policies 2012 and the National Planning Policy Framework 2012.

2. The proposed development by virtue of its location, scale, layout and form, would fail to either preserve or enhance the character and appearance of the Kingsweston and Trym Valley Conservation Area. For the reasons given the proposal is contrary to Bristol Local Plan Policies NE3, B2, B6, and B15 together with policies BCS20, BCS21 and BCS22 of the Core Strategy (June 2011) and Site Allocations and Development Management Policies DM 25, DM 26, DM27 and DM29; March 2012.

3. The proposed development would result in an unjustified and unacceptable loss of private open space that makes an important positive contribution to the green infrastructure network of the neighbourhood. For the reason given proposals are contrary to Policy NE1, NE3 and NE11 of the Bristol Local Plan, Policy BCS9 of the Core Strategy (June 2011) and DM15 of Development Management Preferred Approach Document (March 2012) .

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This was subsequently dismissed at appeal (ref: APP/Z0116/A/12/2186714/NWF) on 10th April 2013 with the inspector upholding only reasons 2 and 3.

Application 13/05387/F for Erection of 2 dwellings, with associated vehicular access from Pitchcombe Gardens; provision of private gardens; and new landscaping and works to existing trees was refused by the city council on 06.05.2014. The reason for refusal was that “due to the height of the proposed dwelling for Plot 1, would appear dominating and harmful to the character and appearance of the Kingsweston and Trym Valley Conservation Area contrary to Policies BCS21 and BCS22 of the adopted Bristol Core Strategy (June 2011), saved Policies B2, B5 and B6 of the Adopted Bristol Local Plan (December 1997) and sections 7 and 12 of the National Planning Policy Framework (March 2012), as well as emerging policies DM26, DM27, DM29 and DM31 of the Site Allocations and Development Management Policies Publication Version (March 2013) Incorporating modifications recommended by the Inspector in his report of 2nd April 2014”. This was subsequently appealed by the applicant, the appeal being upheld on 24 October 2014 (reference APP/Z0116/A/14/2220325).

26 Grove Road - Application 86/01366/F for Erection of three detached houses with separate garages, existing house to be demolished was granted and subsequently an amended application (ref: 86/03051/F) was also granted.

Land at 44 and 48 Grove Road - Application 00/01093/F/N for the replacement of two bungalows with two two-storey houses, with an adjoining orchard/paddock forming part of the grounds of one of the new houses, was granted on 2nd November 2000. Both the new houses have since been built. Whilst construction works was preceding on the approved scheme a further planning application (ref: 00/1094/F) for construction of a third house, intended upon the orchard, was refused. A subsequent appeal (ref: APP/Z0116/A/00/1048783) was dismissed on 26th April 2001 as proposals would fail to preserve the character and appearance of the Kingsweston and Trym Valley Conservation Area, to include detriment to the setting of the neighbouring Grade 2* Listed Blaise Castle Estate.

APPLICATION DESCRIPTION

The application seeks to amend the consent provided by 13/05391/F to amend the following conditions:

- 6 – Reptile method statement
- 8 – Bird / bat boxes
- 9 – Badger protection
- 22 – List of approved plans and drawings

Details for conditions 6, 8 and 9 have previously been approved under condition discharge applications and as such the application is to vary these for compliance with the ecological document. The documents approved under the condition applications were added to the planning record in support of the application.

The application also seeks to amend the plans listed in condition 22. The main reason for this is to amend the design of the proposals. Specifically the amendments are:

'Plot 1' (left hand side):

- To decrease the overall ridge height from 41.16m AOD to 40.94m AOD (from 8.3m down to 7.9m above ground level).
- To increase the height of the eaves from 4.86m to 5m above ground level.
- To increase the depth of the house from 7m to 7.7m.
- To increase the width of the house by about 0.2m (the distance to the boundary is as previously approved).

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- To amend the carport design so as to be 1m wider (at 6.5m) and 0.2m less deep (5.8m). The proposals also amend the roof design. The previous carport was 3.5m high with a shallow pitched roof and pitched link whilst the current proposal is for a flat roofed version with small pitched element on three sides.
- Increasing the size of the lobby area at the front of the house to include a study. The front width of this will be 6m rather than 3.4m. The depth of this is approximately the same at 2.5m.
- To include new first floor windows on the northern (side) elevation.
- To reduce the pitch of the roof from 40 degrees to 37.5 degrees.
- Relocation of solar panels to the rear roof pitch.
- To amend the materials to include render on the walls at first floor level (as previously) and hanging clay tiles on the gable feature, and brick on the ground floor.
- To amend the windows to include sash windows rather than casement and also to amend the proportions of the windows and rear doors.
- The top of the upper floor windows are reduced in height from 5m to 4.8m above ground.
- Internal re-arrangements

It should be noted that amendments were made to the application during the determination process to reduce the scale of the carport and amend the window arrangement. The description above refers only to the most recent plans.

'Plot 2' (right hand side):

Changes to plot two are more significant, with the form of the building changing more substantially than is the case for plot 1. Specifically:

- The width of the building is increasing from 9.4m to 10.9m and depth from 8.2 to 8.4m. In addition a new two storey element is attached to the rear of the house which will be 5m wide by 3m deep and 6.8m to the ridge. The implications of these changes are that the internal floor space of the unit would increase from approx. 142 square metres to 198 square metres (an increase of 40%).
- A new bedroom is added to the first floor to make this a five bedroomed property whereas previously it was a four bedroomed property.
- A reduction in the ridge height by approximately 15cm down to 41.335m AOD (8.335m above ground level).
- An increase in eaves height from 4.8m-4.9m.
- As the front elevation is widened the front gable feature is moved to a more central position on the elevation.
- The gable feature is reduced in size by 20cm (width and depth) to 3.8m wide by 0.9m deep.
- Revisions to the entrance to remove the porch and include this in the gable feature.
- Internal re-arrangements to include the new bedroom upstairs and downstairs alterations to the living accommodation.
- Amendment to materials to feature hanging tiles on the upper storey walls on the front elevation except for the gable feature and brick on the ground floor for all elevations (otherwise render).
- Relocate chimney from right hand side to left hand side.
- To amend the windows to include sash windows rather than casement and also to amend the proportions of the windows and rear doors (with additional rear doors added).
- The top of the upper floor windows are reduced in height from 5m to 4.8m above ground.
- A new window to the southeast elevation at first floor
- Relocation of solar panels to the rear roof pitch.
- The roof pitch is the same at 37.5 degrees.
- The distance to the southern boundary of the site remains the same.

It should be noted that the application when originally submitted included a separate car port to the front of the dwelling, however this was removed in the revised documents.

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In addition to the amendments to the dwellings, it is also proposed to place a retaining wall around the Silver Birch closest to the rear of the proposed two houses

EQUALITIES ASSESSMENT

During the determination of this application due regard has been given to the impact of this scheme in relation to the Equalities Act 2010 in terms of its impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence (including from consultation with relevant groups) that different groups have or would have different needs, experiences, issues and priorities in relation this particular proposed development. Overall, it is considered that the approval / refusal of this application would not have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

RESPONSE FROM PUBLIC INVOLVEMENT

Notification of the application was sent to 61 neighbouring addresses on 6th March 2017 with a target response date of 27th March 2017. In response to this 14 written representations were received from 11 addresses, including comments from the Coombe Dingle Conservation Group. The key issues raised from these comments are summarised as follows:

- Amendments to the roof design, increasing the height of the eaves, are not acceptable given the conservation area status of the site.
- The proposed changes increase the scale and dominance of these buildings in an inappropriate way and the safeguards imposed to reduce their massive appearance are proposed to be removed.
- Loss of privacy has occurred to neighbouring houses with the loss of trees and areas of neighbouring houses will be overlooked by the proposals.
- The rear 'extension' element to plot 2 is visible from neighbouring windows.
- The increase in floor space is not appropriate; particularly plot 2 which will increase by 40%.
- The increase in floor space is not appropriate; particularly including the increased lobby on plot 1.
- The car port to plot 1 will result in the loss of an important Yew tree, as application 17/00743/VP has been submitted [officer note: this has been refused].
- The proposals are similar to those which were not considered appropriate under previous applications.
- The new car port for plot 2 was refused by a planning inspector previously and is not acceptable [officer note, this has been removed in the latest revisions to the plans].
- A number of the comments raised concern that the planning process was being disregarded by the developers and that planning enforcement commence [officer note: the application should be considered on its individual merits and drawbacks, rather than the behaviour (perceived or not) of the developer].
- A number of comments also raised concern about the description of development being unspecific.

Following the receipt of these comments, discussions were held between the applicant and case officer and in response to this a revised set of drawings were received. These were subject to a second round of consultation whereby those who had written to the local authority were informed by a second letter. The letters were sent on 11th April 2017 with a response date of 25th April 2017. In response to this second round of consultation 14 written representations were received from the same addresses as the original comments, plus a further six new addresses. These comments are summarised as:

- Re-iteration of original objections specifically with regard to the scale of plot 2.
- Re-iteration that enforcement action should proceed.
- Plot 2 will block light to neighbours and result in overlooking of neighbours.

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- Concerns that future developers will take a similar approach and build developments not in accordance with plans.

In addition to the public comments, Ward Member Councillor Melias commented that “The developer is clearing progressing outside the approved plans.

This is an insult to the planning process and to the residents who have adhered to the BCC consultation process and voiced their opinions admirably.

I agree with my fellow Councillor, Cllr Alexander when he states "The resultant building will block light to the neighbour and overlook their property to an unacceptable extent".

In addition to the above publicity, site and press notices have been made. The consultation period associated with these will not be finalised by the time of the committee which is the reason why the recommendation of this report is for delegation of decision to officers in case new, substantively different, comments are received from the public. Having said this given the significant public interest already received, substantively different comments are not anticipated.

RESPONSE FROM STATUTORY CONSULTEES

The following comments were received in relation to the first round of consultation:

Historic England

Historic England commented that “On the basis of the information available to date, we do not wish to offer any comments. We suggest that you seek the views of your specialist conservation and archaeological advisers, as relevant.

It is not necessary for us to be consulted on this application again, unless there are material changes to the proposals. However, if you would like detailed advice from us, please contact us to explain your request”.

Bristol City Council Ecology Officer

The Council ecologist sent comments setting out that conditions 6, 8 & 9 had been discharged under a previous application and that the information supplied was satisfactory. He also advised that swift boxes be placed 1m apart.

Bristol City Council Landscape Officer

The Bristol City Council Landscape Officer commented that “Proposals shown on drawing 769 - 01B (Landscape) are acceptable”.

Bristol City Council Transport Development Management Team

The Bristol City Council Transport Development Management Team commented that “this proposal does not appear to impact on the highway therefore we have no comments to make”.

Bristol City Council Contaminated Land

The Bristol City Council Contaminated Land officer commented that contaminated land conditions could be removed if the condition applications for these (relating to the original consents) were approved.

The following comments take into account the revised proposals:

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Bristol City Council Conservation Officer

The Bristol City Council Conservation Officer commented that “The changes in the proposed development of this site into two dwellings poses no additional harm to the character of the Conservation area in the altered and current application for amendments with one exception: the enlarged car port. We consider that the additional scale and massing of this structure, and flat-roof profile, are likely to prove incongruous in the Conservation Area setting. We recommend that this element of Plot 01 is removed.

Aside from this change the amendments to the design of the two units differs minimally from the consented scheme and poses no further harm”.

Bristol City Council Arboricultural Officer

The Arboricultural officer verbally commented that the retaining wall proposed to the rear of the houses is clearly within the identified tree root zone and would, therefore, have the potential to impact on this tree, which is covered by a tree protection order. Further details of landscaping should be submitted and approved by condition.

RELEVANT POLICIES

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocation and Development Management Policies (Adopted July 2014).

PAN 1 Residential Guidelines (November 1993)
 PAN 2 Conservation Area Enhancement Statements (November 1993)

Westbury on Trym Conservation Area Character Appraisal

Planning (Listed Buildings & Conservation Areas) Act 1990

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES

The application submitted is to vary an existing planning consent. Its consideration therefore must focus on the differences between the originally consented scheme and the current proposals. All other elements of the development which are unchanged are deemed acceptable as these already have planning consent. The consent which is to be varied by this application was taken to planning committees previously and the reports for those are included for reference in the background papers. The material changes between the consented scheme and the current applications are discussed below.

(A) IS THE PRINCIPLE OF THE DEVELOPMENT ACCEPTABLE IN LAND USE TERMS?

As set out above there is an extant planning permission on the site and this application is to vary that. The principle of the application, two dwellinghouses on the plot in this arrangement, is acceptable.

(B) ARE THE AMENDED DESIGNS APPROPRIATE IN THE CONTEXT OF HERITAGE

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DESIGNATIONS?

The site is located within the Kingsweston and Trym Valley Conservation Area and is within approximately 100m of the Grade II* listed park and garden of the Blaise Castle Estate. As such the impacts of the design on heritage need to be taken into account.

With regard to the Blaise Estate, the previous scheme was considered to be acceptable in terms of the impacts on the setting of this. Given that the ridge heights of the proposals have been reduced, it is considered that no additional harm to this particular designation occurs and the proposals remain acceptable.

With regards to the Kingsweston and Trym Valley Conservation Area, all developments in conservation areas, under section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, require particular consideration. In the exercise of planning powers in conservation areas, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area. In addition policies BCS21 and DM31 require development to safeguard, enhance and respect their prevailing character.

The significant weight to be attributed to the City Council's Kingsweston and Trym Valley Conservation Enhancement Statement(s) is confirmed in the supporting text to Policy BCS22 of the Core Strategy (June 2011). Page 128 of the explanatory text to the Core Strategy confirms that the 1993 Conservation Enhancement Statements are among a group of documents that "will continue to be used to guide decisions on development proposals".

Policy Advice Note 2: Conservation Area Enhancement Statement sets out that "Within the Coombe Dingle and Trym Valley Area development has often been of a character degrading and reducing the quality of the landscaped gardens and traditional buildings. There is a need to encourage a more sensitive approach to potential development, and protect the established layout and built form". This document goes on to set a series of General Enhancement Objectives referring to the set of policies set out in the report on the proposed extension of the Conservation Area to Coombe Dingle in 1988. This states that future development should take account of the rural character of Coombe Dingle with particular reference to prevailing density, site coverage and the spatial relationships between buildings. It sets out 5 criteria for future development as:

- (i) Retaining the pattern of detached dwellings set in large gardens with ample landscaping
- (ii) Locate buildings well back from road frontages with a clear width between properties.
- (iii) Continue the use of traditional forms/materials, including pitched tiled roofs both to principal buildings and offshoots
- (iv) Retain the existing mature trees and shrubs and further strengthen the woodland planting by insertion of new planting
- (v) Respect the means of enclosure and reflect the predominant traditional forms of the locality be it, hedging or natural walking. This should be at least one metre in height.

Members should however be aware that the age of this document and the handful of later infill developments since reduced the weight that the Inspector gave to this document on the associated site fronting onto Pitchcombe Gardens in a previous appeal.

This key issue can be focused upon whether the changes to the units can be accommodated within the character of the Conservation Area. It is important to note that Grove Road has a number of properties of varying styles, including detached and semi-detached housing set within suburban layouts.

The proposals include a new two storey rear 'extension' element to plot 2. The amenity impacts of this are discussed below. The inclusion of an additional bedroom in this house, to make a total of five, is not considered to be harmful. There are many other examples of five bedroomed properties in the locality and the transport officer has commented that no significant additional impacts will arise from

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this, or any other design changes.

In terms of the open nature of the conservation area, one impact of the changes is to increase the footprint of the development on the plot. The footprint on the plot is increasing from 89 to 98 square metres for plot 1 (an increase of 10%). For plot 2, the increase is approx. 71 to 99 square metres (an increase of 40%). An appraisal considered for the original application sets out that average footprints for this eastern side of Grove Road range between approximately 82 square metres and 137 square metres. As such it is not considered that the plot sizes are particularly unusual within the conservation area or could be said to erode or vary the prevailing character. In terms of footprint to plot, the development would cover 9% (plot 1) and 8% (plot 2) of its grounds (not including hard landscaping). The average for this area is 15% coverage. In any case, plot density is considered to be an arbitrary measure in respect of assessing the character, due to it representing a perspective not seen from the public realm, only from aerial views. Of more importance is the apparent density to the casual observer. That is how cramped or spacious development is perceived to be. Frontage widths and gaps between buildings are therefore considered to be of more relevance.

The implications of the change from the public realm are that the property on the left will be 20cm wider. This is not considered to create a significant change and is not given further discussion. The property on the right will be 10.9m wide rather than 9.4m (1.5m difference). This will be accommodated by reducing the gap between the two new buildings to 2m (from 3.5m). A review of the surrounding area reveals property widths of 5.5-15m and gaps between houses of as little as 1-2m (this increases to approx. 7-17m on the larger plots to the north). As such the proposed property width and gap, although perhaps creating a slightly more cramped appearance in the conservation area than the original proposals, could not be said to be unusual. As such this amendment is not felt to be significantly harmful to the conservation area designation so as to warrant refusal. This view is supported by the council conservation team. It is important to note that the distance between the frontage and the proposed development is approximately the same as that previously permitted and remains appropriate, given that it reflects the surrounding areas and maintains this character element of the conservation area.

When originally submitted the application included a car port for plot 2, however this has been removed, resulting in no significant change from the original permission. The carport to building 1 however has been amended so as to make it wider when viewed from the front. In addition its mass and bulk have increased, with the roof being made flat instead of pitched. The conservation officer has commented that this addition is inappropriate for the conservation area. However given the significant screening along the boundary of the site with Grove Road including intervening tree coverage, and the distance between the car port and the road (26m) it is not considered that this will have an overly dominant impact on the conservation area and could not form a reason for refusal.

The front 'extension' has also increased to include a study, however given the screening around the site and the car port, it is not considered that this will be easily noticed.

Another main concern from the public is the increase in height of the eaves. These are increasing in height by around 15cm. Considering the set back from the highway it is not considered that this will be particularly noticeable. Given that the ridge heights are being reduced the proposals are considered to slightly improve on the original plans in terms of height and this is still considered to be appropriate given the surrounding building heights.

In terms of the elevations to each property, the amendments to the materials for plot 1 are considered to be acceptable and, in accordance with the conservation officers comments, an improvement over the original approval. With regards to plot 2 the provision of a central gable feature provides a bolder design which will help to balance the pair compared to the original design. The materials for this design are considered to be an improvement over the original, featuring less render and more brick and hanging tiles, which are appropriate for the area.

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The proposed houses are in approximately the same location as the original consent and in addition, windows are also in the same location (aside from at the rear of plot 2 which is discussed below). There are two additional side windows in each of the properties, however these serve bathrooms and a condition will be applied to ensure these are obscure glazed.

The new rear 'extension' element to plot 2 will provide windows further to the rear of the site than previously however given the large plot size of the neighbouring gardens it is not considered that this will result in an increase in overlooking.

Concerns have been raised that this new rear element will be visible from the adjoining house. However this extension does not cross the 45 degree line drawn from principal windows and therefore whilst it may be visible from the neighbouring property does not create an overbearing relationship. Intervisibility between the pair is not changed from the original consent.

(D) ARE CHANGES TO THE LANDSCAPING ACCEPTABLE?

The main changes to the landscaping result from the revisions to the enlarged footprints of the buildings, specifically the rear 'extension' element on plot 2. The ground level of the rear gardens to the proposed units is approximately 1m above the level of the houses and to accommodate the roots of the silver birch in the garden it is proposed to construct a retaining wall around these. The actual construction and location of this will be controlled by condition recommended below, as it will need to be informed by technical tree reports.

Other changes to the landscaping include minor amendments to the access and a stronger delineation of the boundary between the two properties.

(E) ARE THE CHANGES TO THE ECOLOGICAL MITIGATION CONDITIONS ACCEPTABLE?

This specifically refers to conditions:

6 (reptile protection)

8 (bird boxes)

9 (badger protection)

The details of these conditions have been approved under application 16/03397/COND and therefore it is considered acceptable to amend these conditions to require compliance with the approved ecological mitigation scheme, rather than require a repeat submission and assessment of the same information.

It should be noted that condition 12 of the appeal decision letter set out that the ecological mitigation report would need to be updated if construction began later than 1 year after the original ecological report. The ecological mitigation for construction has been approved and implemented, as such it is not considered necessary to repeat this condition.

(F) ARE THE PROPOSALS ACCEPTABLE IN TERMS OF SUSTAINABILITY PROVISION?

The proposals slightly amend the overall size of the buildings and relocated the solar panels. The application is supported by an energy statement which demonstrates that the requirement for generating enough electricity to meet the requirement of policy BCS14 is met.

(G) DOES THE CURRENT CONSTRUCTION ACTIVITY REQUIRE ENFORCEMENT ACTION?

Many of the objections received cite that the development has already commenced and that this is unacceptable. The fact that the development has commenced on the site not in accordance with the

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approval is certainly unsatisfactory, however the submission of this application seeks to reconcile the differences between the buildings currently being constructed and the extant planning permission. It is therefore not considered expedient to undertake enforcement action until this planning application has been determined.

(H) OTHER CHANGES TO CONDITIONS

As the development has commenced there is no need for the 'time limit' condition and this will not be included. Some other conditions from the original consent have been discharged and these will not be repeated on the new consent, specifically those relating to contaminated land survey and approval of remediation scheme. In addition conditions required at pre-commencement stage are reworded to reflect the current status of the site, where construction has begun.

In addition a condition has been included to control permitted development rights for extensions. Any extensions will require planning permission. This is to enable the authority to determine whether any such extensions could be harmful to amenity or historic designations.

COMMUNITY INFRASTRUCTURE LEVY

How much Community Infrastructure Levy (CIL) will the development be required to pay?

The anticipated CIL requirement is £9,819.64.

CONCLUSION

The amendment application is on balance considered to be acceptable as it does not significantly detract from the conservation area compared to the original approval and in some respects, offers improvement. Other matters are generally accounted for by revised assessments and will be suitably controlled by condition. It is therefore recommended that the application should be approved, subject to the revised conditions below.

RECOMMENDATION**RECOMMENDED**

Unless comments from the public or consultees are received raising substantively different issues to those already presented and discussed in this report, authority to GRANT the application, subject to the following conditions, be delegated to the Development Management Service Manager.

Pre occupation condition(s)

1. Land affected by contamination - implementation of approved remediation scheme.

No development other than that required to be carried out as part of a scheme of remediation previously approved in writing by the local planning authority shall take place until the approved remediation scheme has been carried out in accordance with its terms. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and be approved in writing of the Local Planning Authority.

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Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

2. Ecological Mitigation

All ecological mitigation specified in the report titled 'Construction Ecological Management Plan '24 Grove Road' and '21 Pitchcombe Gardens', Coombe Dingle, Bristol' dated April 2016 shall be implemented throughout the construction of the development and prior to the first occupation of the development hereby approved.

Reason: In order to safeguard the natural environment.

3. Submission and approval of landscaping scheme

Prior to the commencement of landscaping works a scheme of hard and soft landscaping, which shall include a landscape maintenance plan for the establishment period (first 5 years), at least 6 new trees, a species-rich native hedgerow along the southern boundary of the site together with indications of stock sizes and species, as well as indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection, in the course of development shall be submitted to and approved in writing by the local planning authority. This will also include details of retaining wall features around any and all tree roots on the site.

The approved scheme shall be implemented so that planting can be carried out during the first planting season following the occupation of the building(s) or the completion of the development whichever is the sooner. All planted materials shall be maintained for five years and any trees or plants removed, dying, being damaged or becoming diseased within that period shall be replaced in the next planting season with others of similar size and species to those originally required to be planted unless the council gives written consent to any variation.

Reason: To protect and enhance the character of the site and the area and to ensure its appearance is satisfactory.

4. Protection of retained trees during the construction period

No further work of any kind shall take place on the site until the protective fence(s) has (have) been erected around the retained trees in the position and to the specification shown in the submitted Arboricultural Report and supporting appendices (including tree protection plan and cellweb specification). The Local Planning Authority shall be given not less than two weeks prior written notice by the developer of the commencement of works on the site in order that the council may verify in writing that the approved tree protection measures are in place when the work commences. The approved fence(s) shall be in place before any equipment, machinery or materials are brought on to the site for the purposes of the development and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Within the fenced area(s) there shall be no scaffolding, no stockpiling of any materials or soil, no machinery or other equipment parked or operated, no traffic over the root system, no changes to the soil level, no excavation of trenches, no site huts, no fires lit, no dumping of toxic chemicals and no retained trees shall be used for winching purposes. If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the council.

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Reason: To protect the retained trees from damage during construction and in recognition of the contribution which the retained tree(s) give(s) and will continue to give to the amenity of the area.

5. Sustainable urban drainage system (SUDS)

Prior to the commencement of landscaping works a detailed design of surface water drainage for the site using sustainable drainage methods shall be submitted to and approved in writing by the Local Planning Authority. The approved development shall be implemented in accordance with the approved detailed design prior to the use of the building commencing.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal.

6. Further details before relevant element started

Details of the following shall be submitted to and be approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

- a) Large scale drawings of roof ridges and eaves in section at a scale of 1:10
- b) Large scale elevations of car port at a scale of 1:20.
- c) Large scale sections of entrance doors and windows showing reveals at a scale of 1:10
- d) Manufacturer's details of windows and external doors demonstrating material, colour, finish and form.
- e) Supplier's details of all hard surfacing materials
- f) Supplier's details of stained timber demonstrating material, colour and finish.
- g) Supplier's details of timber frame to car port demonstrating material, colour and finish.
- h) Manufacturer's details of any external lighting demonstrating the appearance of the lighting product alongside its location.
- i) Large scale details at 1:20 of refuse store demonstrating materials, colour and finish.
- j) Details of obscure glazing to all first floor windows on side elevations (north-west or south east)

Reason: In the interests of visual amenity and the character of the area.

7. External Lighting

Prior to the occupation of the development or commencement of the relevant part, details for any proposed external lighting shall be submitted and agreed in writing by the Local Planning Authority. This shall include a lux level contour plan, and should seek to ensure no light spill outside of the site boundaries.

Reason: To conserve legally protected bats and other nocturnal wildlife.

8. Materials

The development will be constructed in accordance with details approved under applications 16/06036/COND and 17/00371/COND, unless variation to these are submitted to and approved in writing by the local planning authority.

Reason: to ensure the materials of which the development is constructed are suitable in terms of visual amenity and for the safeguarding of the character of the conservation area.

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9. Land affected by contamination - Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Condition 2 of planning permission no. 13/05391/F and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Condition 3 of planning permission no. 13/05391/F, which is to be submitted to and be approved in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 4 of planning permission no. 13/05391/F.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

10. The approved development shall be carried out in accordance with the details of the approved Sustainability Statement including the provision of the specified solar panel installations.

Reason: To reduce the developments energy demand and carbon dioxide emissions.

11. Implementation/Installation of Refuse Storage and Recycling Facilities - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

12. Completion of Vehicular Access - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the means of vehicular access has been constructed and completed in accordance with the approved plans and the said means of vehicular access shall thereafter be retained for access purposes only.

Reason: In the interests of highway safety.

13. Completion and Maintenance of Car/Vehicle Parking - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the car/vehicle parking area shown on the approved plans has been completed, and thereafter, the area shall be kept free of obstruction and available for the parking of vehicles associated with the development

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Reason: To ensure that there are adequate parking facilities to serve the development.

Post occupation management

14. No further extensions

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) no extension or enlargement (including additions to roofs) shall be made to the dwellinghouse(s) hereby permitted, or any detached building erected, without the express permission in writing of the council.

Reason: The further extension of this (these) dwelling(s) or erection of detached building requires detailed consideration to safeguard the amenities of the surrounding area.

15. Non opening and obscured glazed window

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) the proposed bathroom windows on the side elevations shall be non-opening or top light opening only and glazed with obscure glass to a specification to be agreed with the Local Planning Authority and shall be permanently maintained thereafter as non opening or top light opening and obscure glazed.

Reason: To safeguard the amenities of the adjoining premises from overlooking and loss of privacy.

List of approved plans

16. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

2936.C.01.100 REV. J Ga rev d plot 1 floorplans, received 11 April 2017
2936.C.01.150 REV. E Elevations rev c plot 1 elevations, received 11 April 2017
2936.C.02.100 REV. F Ga rev d plot 2 floorplans, received 24 February 2017
P.051 REV C Site plan, received 11 April 2017
769 01 B Landscape and tree plan, received 1 March 2017

Reason: For the avoidance of doubt.

Supporting Documents

3. 24 Grove Road

1. Committee report 13/05391/F – 2nd April 2014
2. Committee report 13/05391/F – 23rd April 2014
3. Approved site plan
4. Site plan for consideration
5. Plot 1 – Approved elevations
6. Plot 1 – Proposed elevations
7. Plot 1 – Proposed floorplans
8. Plot 2 – Approved elevations
9. Plot 2 – Proposed elevations
10. Plot 2 – Proposed floor plans

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COUNCILLOR REFERRAL

Councillor Tim Leaman has referred the application for determination by committee on the basis of the following commentary:

"Application 13/05391/F is referred on planning policy DM21 and local resident concerns and objections on the proposals impact on the Trym valley conservation area which include its high visibility to passers-by and the intensity of the proposed development."

SITE DESCRIPTION

The application site is located to the north-eastern side of Grove Road and consists of a large detached 1920s chalet style bungalow set centrally within an extensive garden. This benefits from two detached garages accessed via a dirt drive located down its south-eastern boundary. The property is in a relatively poor state of maintenance.

This is located within the Kingsweston and Trym Valley Conservation Area, which was extended to cover the Coombe Dingle area in 1988. The site also holds a number of trees subject to Tree Preservation Order No 1158/R located principally along the south-western and north-western boundaries of the front garden but also with two trees located to the rear garden.

The land historically associated with the application site to the north-east, which bounds onto Pitchcombe Gardens, is the subject of a separate application for redevelopment (ref: 13/05387/F) but currently remains undeveloped. To the south-east is a two-storey dwellinghouse set within a similarly sized garden. To the north-west is located Nos. 1 and 2 Grove Court, a late 1980s infill development set within the garden of No. 24b Grove Road. Directly opposite are the more suburban forms of the semi-detached pairs along the south-western side of Grove Road. Grove Road itself has a rural character by virtue of the lack of pavements and strong vegetated boundaries.

The wider surrounding character is varied, with distinct groupings of development which appear to be linked to the original field boundaries when compared against historic ordinance survey plans. This primarily is formed by a combination of large detached houses set within expansive gardens and more suburban detached and semi-detached properties of differing eras. The notable exception is the 1970s apartment block to Cedar Court to the south of the site on the junction with Pitchcombe Gardens.

To the north are the large detached houses of Hill View, Orchard Cottage and Pennywell set within large plots located off of Grove Road. While these properties remain distinct from the application site by virtue of being set far back and well screened from Grove Road and to a lesser extent from within the site, their large open plots form part of a transition from the Blaise Estate to the more suburban forms further within Coombe Dingle and a key component of the extension of the Kingsweston Conservation Area (as then known) to cover the Coombe Dingle area. Beyond this adjoining land to the north is located the Grade II* listed park and garden of the Blaise Castle Estate identified by the woodland. This is also a Site of Nature Conservation Interest.

RELEVANT PLANNING HISTORY

It is noted that the issues of contention for this scheme make history of the surrounding area of some interest. This includes the attached land facing onto Pitchcombe Gardens. This can be summarised as follows:

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In respect of the application site (including associated land fronting Pitchcombe Gardens) the following planning history is of relevance:

- o TPO No 302 was confirmed on 24th May 1988. TPO 302 identified 12 individual trees, 10, T1 -10 inclusive, located in the rear garden and 2 trees, T11 and T12 each located in the front garden. In addition to the individually named trees TPO 302 identified three separate groups of unspecified trees to include white birch, silver birch ash and yew.
- o In December 2010 an application was registered to complete some tree works and felling to protected trees. Following registration and subsequent discussion with the City Council's Arboricultural Officer changes were made to the originally intended schedule of works to ensure retention of several mature trees. On 21st January 2011 a decision was taken 10/05322/VC to permit some tree felling and tree surgery. TPO 302 was revoked and a new TPO 1158/R was confirmed the same day to include a number of matures trees not previously protected. TPO 1158 identifies 25 individual trees.
- o In March 2011 an enforcement complaint was received concerning the erection of a close boarded fence, upon the Pitchcombe Gardens boundary to the site; 11/30178/WAL refers. Following a visit on 11th April 2011, the Enforcement Officer confirmed a breach of planning control. It was not judged expedient at the time to take discretionary enforcement action and at the time of writing the fence remains insitu.
- o Application 11/04779/F for Erection of 4 dwellings (and demolition of single detached garage), with associated vehicular access from Grove Road; provision of private gardens and new landscaping, and works to existing trees was refused following officer feedback that the scheme would likely be refused. This arranged one new build house to the rear garden of Grove Road and 3 new houses within the land adjacent to Pitchcombe Gardens, with all accessed from Grove Road. This was withdrawn.
- o Application 12/03546/F for Erection of 2 no. dwellings with associated vehicular access from Pitchcombe Gardens; provision of private gardens and new landscaping and works to existing trees was refused on 22nd October 2012 for the following reasons:
 1. The proposed development would result in the unsatisfactory loss of a substantial portion of an existing private garden together with the creation of new homes within the curtilage of an existing dwelling which is neither within or near a designated centre nor close to any main public transport route(s). For the reasons given proposals would result in an unsustainable form of development and would be contrary to policy BCS20 of the Bristol Core Strategy 2011, policy DM19 of the Draft Management Policies 2012 and the National Planning Policy Framework 2012.
 2. The proposed development by virtue of its location, scale, layout and form, would fail to either preserve or enhance the character and appearance of the Kingsweston and Trym Valley Conservation Area. For the reasons given the proposal is contrary to Bristol Local Plan Policies NE3, B2, B6, and B15 together with policies BCS20, BCS21 and BCS22 of the Core Strategy (June 2011) and Site Allocations and Development Management Policies DM 25, DM 26, DM27 and DM29; March 2012.
 3. The proposed development would result in an unjustified and unacceptable loss of private open space that makes an important positive contribution to the green infrastructure network of the neighbourhood. For the reason given proposals are contrary to Policy NE1, NE3 and NE11 of the Bristol Local Plan, Policy BCS9 of the Core Strategy (June 2011) and DM15 of Development Management Preferred Approach Document (March 2012) .
- o This was subsequently dismissed at appeal (ref: APP/Z0116/A/12/2186714/NWF) on 10th April 2013 with the inspector upholding only reason 2 of the reasons for refusal. A copy of this decision has been appended to the application file as a background document for ease of reference.

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- o Application 12/05559/H for Refurbishment of existing building including new first floor. Partial demolition, including roof and bay window. Demolition of existing garage and new double garage proposed. Was refused on 07th February 2013 for the following reason: "The proposed development by reason of its proposed height, scale, massing and detailed design would fail either to preserve or enhance the character and appearance of the Kingsweston and Trym Valley Conservation Area. For the reasons given proposals are contrary to policies BCS21 and BCS22 of the Core Strategy (June 2011)."
- o Application 13/02768/H for Single storey extension to rear of property was granted on 19th August 2013.

The following history is of interest in the surrounding area:

- o Land to the rear of 20 Grove Road (i.e. the current Pitchcombe Gardens) - Application 71/02768/U_U for erection of 4 detached houses with double garages was granted.
- o 26 Grove Road - Application 86/01366/F for Erection of three detached houses with separate garages, existing house to be demolished was granted and subsequently an amended application (ref: 86/03051/F) was also granted.
- o Land at 44 and 48 Grove Road - Application 00/01093/F/N for the replacement of two bungalows with two two-storey houses, with an adjoining orchard/paddock forming part of the grounds of one of the new houses, was granted on 2nd November 2000. Both the new houses have since been built. Whilst construction works was preceding on the approved scheme a further planning application (ref: 00/01094/F) for construction of a third house, intended upon the orchard, was refused. A subsequent appeal (ref: APP/Z0116/A/00/1048783) was dismissed on 26th April 2001 as proposals would fail to preserve the character and appearance of the Kingsweston and Trym Valley Conservation Area, to include detriment to the setting of the neighbouring Grade 2* Listed Blaise Castle Estate. refers.

APPLICATION DESCRIPTION

The proposal seeks to demolish the existing bungalow and construct two detached 2-storey houses, with the eaves of the roof set below the window lintel height. The existing dirt driveway would be removed and a new driveway formed by hardstanding would be located slightly north of centre within the plot to serve the two dwellings.

The dwellings would be located approximately to the same position within the site as the bungalow. These would be located 2m from the north-western boundary and 2.5m from the south-east boundary, with a gap between them of 3.6m. The properties have a ridge height of approximately 8.5m and eaves height of 5m.

Each property would be of a unique design, both of which however seek to reference some of the more traditional development within the surrounding area. Plot 1 would appear slightly more grand in nature through the use of a timber framed car port INTEGRATED to the front of the building, the use of gables over windows due to the eaves height and a prominent projecting gable finished in red brick and stained timber, to contrast with the render of the main building. Plot 2 would also be finished in render with a projecting gable feature. This gable feature is less visually dominant being finished in render also and hanging tile to first floor level. Both properties would have timber casement windows and timber doors, solar panel set the facing south-west roof slope and be set on brick plinths with timber finials to their feature gable windows. They would also benefit from a brick chimney and clay tile roofs with clipped gables to their flanks.

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The scheme would result in the loss of three trees to the frontage to enable the relocated driveway and additional hedgerow planting is proposed.

Amendments were received during the lifetime of the application in response to commentary from officers to change the garage to a car port to address conflicts with a retained tree and the visual dominance of this feature. The design was also rationalised to include finials to only the feature gables, replace the gables with clipped gables to reduce the massing of the roof forms and to increase the bulk of the chimneys to give them more visual weight in the design. Other clarifications were also provided on tree protection and a minor correction of the submitted ecology report.

A prepared sustainability statement has not been submitted in error (see Key issues below) and will be secured by the time of committee. Revised elevations have also been requested to show the solar panels in elevation.

RESPONSE TO PUBLICITY AND CONSULTATION

53 neighbour notifications were issued alongside a site notice and press notice. 32 objections were received alongside 1 neutral comment and 1 comment in support. These comments were received before the amendments described above were received and a re-consultation was issued. The response from this re-consultation will be reported to members through the amendment sheet. However, to date comments have advised that the amendments have not addressed the concerns raised.

The comments received can be summarised as follows [with officer commentary in square brackets]:

- Loss of garden land should be resisted.
- Two houses is an overdevelopment.
- Do not object to two houses if the design is appropriate.
- Subdivision of the garden would harm the Conservation Area.
- The existing site requires improvement and the centrally located driveway is liked. The scheme is better than any previous application but a garage for both houses would be preferable.
- The design results in an awkward fit with a garage being placed to the front of one property and the other not having any garage. The site is therefore only appropriate for one house.
- The garage would dominate views from Grove Road.
- The use of a shared drive results in the appearance of an overly cramped development.
- The design is generic and unimaginative and no period distinction at all.
- The houses are too close together.
- The houses are too tall.
- Loss of symmetry of the bungalow design.
- Loss of the rural woodland feel that forms part of the character of the Conservation Area and setting to the Grade II* listed park and garden of the Blaise Estate to a more suburban character.
- The scheme will not preserve or enhance the Conservation Area.
- Inadequate off-street parking to serve the development.
- Increased vehicular traffic to area.
- Site is not accessible by public transport.
- Impact of construction works on access.
- Impact on nature conservation interests.
- Loss of trees.
- Loss of privacy to adjacent properties.
- The proposal does not significantly adversely impact upon No. 22 Grove Road (from resident of No. 22).
- Relocation of driveway will shine car lights into property opposite.

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- The scheme should be assessed alongside the proposal for the land fronting Pitchcombe Gardens. [Each application is legally required to be assessed on its own individual merits - members are entitled to assess an active application as a material consideration in respect of their cumulative impact or impact upon one another but the schemes cannot be assessed as a single submission.]
- The developer has not engaged with local residents [While regrettable, this is not a material planning consideration.]
- Require visuals or examples of architects previous finished work to assess their quality [The former cannot be required but coloured elevations have been requested by the officer to help show the material finish within the design, but not provided. The latter cannot be required and would not be reasonable to request.]
- Objectors offered their views on a preferable form of development being refurbishment, one bungalow, two bungalows or one house. [Members are required to assess the application before them and whether this is acceptable not whether a preferable form of development is possible].
- Future detrimental alterations would be applied for. [As above, each application is to be assessed on its individual merits and a refusal cannot be issued on the basis of future possible development that would be assessed on its own merits at the time.]
- A previous application for four houses was refused [this related to a single new dwelling within the rear garden of the application site and the remaining three units to the land adjacent to Pitchcombe Gardens. This was not refused but withdrawn and this scheme does not form a material planning consideration as a result.]
- Risk of setting a precedent for future development at nearby properties [as set out above each application is to be assessed on its individual merits].
- It is regulation that all new houses should be supplied with garages [This is not the case.]

The Friends of Blaise objected to this application and application 13/05387/F to the land fronting onto Pitchcombe Gardens on the basis that the site forms part of a large garden that forms the setting to the Blaise estate, which is part of the Conservation Area's purpose. They consider such density of development inappropriate to the landscape of the Conservation Area. Other comments made relate to the adjoining site.

The Bristol Tree Forum has expressed concern over the practicality of tree retention through the set method for laying the driveway and future pressure to fell trees T19 and T20.

The Coombe Dingle Conservation Group, in summary, raised the following points in their comments:

- The bungalow, while worthy of preservation has fallen into such disrepair that replacement is probably necessary.
- The driveway location retains attractive group of mature Hornbeams from loss compared to previous proposals.
- Use of hedgerow planning is welcomed compared to the cheap fencing put up recently by the developer elsewhere.
- The two units result in an unattractive cramped feel. The resulting plots are long and narrow.
- The layout is inconsistent and unattractive, with the garage to Plot 1 [now a car port] blocking the outlook of occupiers. Plot 2 has no garage, which is an omission for a modern house of this size in this setting and is done to reduce the apparent density of development. Future occupants would surely apply for one [see above commentary on future applications].
- The simple designs and basic materials used suggest a lazy approach on the designer's part. These houses are a standard, 'off-the-peg' design for contemporary executive dwellings, of a type that can be encountered anywhere. The architects have clearly given no thought to the context of the area and its character and ambience.
- The scheme fails to preserve the character of the semi-rural large houses set in mature gardens. The division of the plot fails to retain the mature garden.

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The Campaign to Protect Rural England (South Gloucestershire/North Bristol District) have made the following comments in summary:

- The design and layout is unsuitable and would completely alter the character of the location.
- The proposal would be contrary to emerging Policy DM21 covering loss of private gardens.
- While the applicant has referenced the presumption in favour of sustainable development within the NPPF, but this ignores the environmental role of sustainable development and the preference for previously developed land.
- The proposal would also compound the harms associated with the application for the neighbouring plot.

The Bristol Conservation Advisory Panel (CAP) made the following comments:

"As in the above application (13/05387/F to Pitchcombe Gardens), the design was again developer's pattern book, which in this context failed to reflect the character of the conservation area. The Panel considered the proposal was also car dominated. The Panel objected because the development would harm the setting and character of the conservation area. The Panel considered the design of the houses should be driven by an understanding and affinity with the landscape. Because of the previous finds that included a Roman coffin, the Panel recommended an archaeological investigation."

Bristol CAP has since ceased as part of restructuring with reduced BCC City Design Group ability to resource this group. The intention is for this to be replaced by the Bristol Heritage Forum in a different format to Bristol CAP and no revised comments can be gained as a result.

Comments from Councillor Tim Leaman outside of the referral are as follows:

"The planning inspector has previously rejected the most recent developer appeal regarding the land at 24 Grove Rd. He said that he had "no objection in principle to development in a modest and sensitive manner". I would like to comment separately on each newly submitted application. Starting with application 13/05391/F which does not do not in my view support the stated aims for the Trym valley conservation area.

The application to build two 4-bedroom detached houses is a case of garden grabbing or comes under planning policy DM21. This is not in keeping with existing development in Coombe Dingle and is easily visible to residents and passers- by from the main highway. This feels an over developed proposal with the design and layout not only un-imaginative but compromising in its use of the available open space. This will not enhance or add to the existing natural surroundings and i urge that this be rejected under delegated powers or referred for DC North planning committee for consideration."

OTHER COMMENTS

Urban Design has commented as follows:-

Revised drawings generally address my previous concerns

Contaminated Land Environmental Protection has commented as follows:-

The proposed scheme is sensitive to contamination and will involve significant landscaping works. The site also falls within a Radon Referral Area. The applicant is advised to undertake a Radon Risk Assessment prior to works commencing.

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The applicant needs to demonstrate the site is fit for purpose by undertaking a site investigation therefore I recommend standard conditions B11, B12, B13 and C1 are applied to any planning consent.

Nature Conservation Officer (Bristol City Council) has commented as follows:-

Conditions should be required covering:

- an updated survey if development does not take place within 12 months of consent
- compliance with the ecology report with regards to site clearance.
- a method statement for protection of reptiles
- details of proposed external lighting
- landscaping to employ native species
- details of 8 built in bird boxes and six built in bat boxes
- No clearance during bird nesting season of structures suitable for nesting birds.
- protection of badgers during construction works

A advisory note should be attached on protection of bats also.

Transport Development Management, City Transport has commented as follows:-

My main concern with this development is the use of gravel on the driveway. Gravel is not favoured as it is often drawn onto the highway causing various issues. A method of ensuring that the gravel goes not enter the highway or another permeable surface should be used. This is required under the Highways Act 1980, Section 151.

Other points considered to be acceptable were:

- It is stated that the bin and recycling store is within 30m of the house and 25m of the road.
- Cycle parking can be provided in the rear gardens or the garage for plot 1.
- The proposed relocation of the driveway away from Long Acres Close with increased visibility improves the situation.
- Whilst the location will require the use of a car, this is catered for by the parking provision.

In the event of permission being granted I would recommend that the following conditions are imposed: C5, C7 and C12.

Archaeology Team has commented as follows:-

I am happy that no further work is needed here given that development is largely constrained to the existing footprint of the bungalow.

Landscape has commented as follows:-

Grove Road appears to have a "quiet lanes" character with no formal sidewalks and the boundaries coming down to the edge of the carriageway. The soft landscape treatment to the roadside boundary should retain and enhance and contribute to this character and the outline proposals shown on Proposed Landscaping Plan drg no. 2857-PL2013-104 rev E appear to be in line with this objective.

It is suggested that the detail soft landscape drawings show new and enhanced native hedgerow coming up to the driveway entrance on either side.

The applicant may wish to consider the planting of additional fruit trees on non-dwarfing rootstocks in the back gardens to act as a food resource for residents and wildlife.

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It is queried whether the location of the bin / recycling store is sufficiently tucked away out of site of the road and will be adequately screened.

The usual condition would be expected for detailed hard and soft landscape proposals including existing and proposed planting, specification notes covering topsoil depths, cultivation, planting, irrigation and maintenance covering the initial 5 year establishment period to help ensure that the planting thrives.

Arboricultural Team has commented as follows:-

The site has numerous mature trees on site which have considerable value in contribution to the amenity of the surrounding area around the periphery of the Blaise Estate.

The proposals detail the creation of a new driveway through the centre of the site and the construction of two dwellings in replacement of a single bungalow. The new driveway will be located through the root protection areas of several trees. While there is likely to be some disturbance, if protection measures and installation of cellweb protection is carried out with the upmost care I do not consider that the affected trees will suffer any long term impact.

I can confirm that the amended proposals to the car port are not likely to be detrimental to the adjacent retained trees and I consider them to be acceptable. The submitted Tree report sets out that trees T8, T8a and T7a are to be lost. The Bristol Tree Replacement Standard would apply - Given that T8 and 8a just tip the balance into the next category and T7a is only 75mm diameter, it is reasonable to require six trees in replacement for the losses.

English Heritage has commented as follows:-

No comment.

RELEVANT POLICIES

National Planning Policy Framework – March 2012

Bristol Local Plan, Adopted December 1997

B2	Local Context
B5	Layout and Form
B6	Building Exteriors and Elevations
B22	Sites of Archaeological Significance
M1	Transport Development Control Criteria
NE3	Trees and Woodlands (including tree planting and the Community Forest)
ME2	Location and Design of Developments
ME6	Contaminated Land
NE11	New Development: Natural Environment Considerations

Bristol Core Strategy (Adopted June 2011)

BCS5	Housing Provision
BCS9	Green Infrastructure
BCS10	Transport and Access Improvements
BCS13	Climate Change
BCS14	Sustainable Energy
BCS15	Sustainable Design and Construction
BCS16	Flood Risk and Water Management
BCS18	Housing Type
BCS20	Effective and Efficient Use of Land

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BCS21	Quality Urban Design
BCS22	Conservation and the Historic Environment
BCS23	Pollution

Bristol Site Allocations and Development Management Policies (emerging)

DM1	Presumption in favour of sustainable development
DM14	The health impacts of development
DM17	Development involving existing green infrastructure
DM19	Development and nature conservation
FDM21	Development of private gardens
DM23	Transport development management
DM26	Local character and distinctiveness
DM27	Layout and form
DM29	Design of new buildings
DM31	Heritage assets
DM32	Recycling and refuse provision in new development
DM34	Contaminated land

Supplementary Planning Guidance

PAN 1	Residential Guidelines (November 1993)
PAN 2	Conservation Area Enhancement Statements (November 1993)

KEY ISSUES

A number of the objections from the public consultation make reference to the application to the land adjacent to Pitchcombe Gardens and that both schemes should be assessed collectively. As is set out above members are legally bound to assess the applications upon their individual merits. Members are entitled to assess the adjoining proposal as a material planning consideration in respect of cumulative impact or impacts upon one another. It is however considered that the two cannot be realistically viewed together apart from within private land and given the generous plot sizes would have no direct impact upon one another in respect of amenity impacts or nature conservation impacts.

(A) IS THE PRINCIPLE OF DEVELOPMENT ACCEPTABLE IN LAND USE TERMS?

The application site is already established as a residential use. The development site consists of the existing bungalow, to be demolished, and some its private garden. Consideration of emerging Policy DM21, covering development involving loss of private gardens, must therefore be applied. This policy seeks to prevent development involving the loss of private gardens unless in the interests of improved urban design, extensions to existing houses or where the site is located within an area suitable for higher density development.

In this case, the relative footprint of development would actually be reduced by 3 sq m and the proposal would therefore not breach this policy by virtue of reducing the extent of the plot covered by built form. As a consequence members are advised that a reason for refusal on the basis of this policy is not considered reasonable.

The scheme is therefore acceptable in land use terms. Other planning considerations, such as design considerations, are addressed in the key issues below.

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- (B) DOES THE PROPOSAL SAFEGUARD THE CHARACTER AND APPEARANCE OF THE KINGSWESTON AND TRYM VALLEY CONSERVATION AREA AS WELL AS THE SETTING OF THE BLAISE CASTLE ESTATE?

Adopted Policies require development proposal to safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance. This includes Conservation Areas and listed parks and gardens. The significant weight to be attributed to the City Council's Kingsweston and Trym Valley Conservation Enhancement Statement(s) is confirmed in the supporting text to Policy BCS22 of the Core Strategy June 2011. Page 128 of the explanatory text to the Core Strategy confirms that the 1993 Conservation Enhancement Statements are among a group of documents that "will continue to be used to guide decisions on development proposals".

The officer report for the previous refusal for addition of a further floor to the bungalow described the existing property as "Though not particularly distinguished the existing bungalow does sit well in a landscaped open space setting. As a consequence the existing bungalow is judged an asset to the Conservation Area though not particularly visible in the public realm." The existing bungalow is however in a dilapidated state and it is recommended that its replacement with an appropriately designed scheme should not be objected to in principle.

The impact upon the setting of Blaise Castle Estate is considered to not be harmful given the development constitutes a similar footprint of development and would not encroach into the rear garden. Moreover, there is no meaningful visibility out of the estate across this site.

Policy Advice Note 2: Conservation Area Enhancement Statement sets out that "Within the Coombe Dingle and Trym Valley Conservation Area development has often been of a character degrading and reducing the quality of the landscaped gardens and traditional buildings. There is a need to encourage a more sensitive approach to potential development, and protect the established layout and built form." This document goes on to set a series of General Enhancement Objectives referring to the set of policies set out in the report on the proposed extension of the Conservation Area to Coombe Dingle in 1988. This states that future development should take account of the rural character of Coombe Dingle with particular reference to prevailing density, site coverage and the spatial relationships between buildings. It sets out 5 criteria for future development as:

- (i) Retaining the pattern of detached dwellings set in large gardens with ample landscaping
- (ii) Locate buildings well back from road frontages with a clear width between properties.
- (iii) Continue the use of traditional forms/materials, including pitched tiled roofs both to principal buildings and offshoots
- (iv) Retain the existing mature trees and shrubs and further strengthen the woodland planting by insertion of new planting
- (v) Respect the means of enclosure and reflect the predominant traditional forms of the locality be it, hedging or natural walking. This should be at least one metre in height

Members should however be aware that the age of this document and the handful of later infill developments since reduced the weight that the Inspector gave to this document on the adjacent site fronting onto Pitchcombe Gardens in a previous appeal.

This key issue can be focused upon whether two units can be accommodated within the character of the Conservation Area and, if accepting this, whether the detailed design proposed is appropriate. When assessing the impact upon the Conservation Area it is first crucial to identify the character of this part of the Conservation Area. A number of 20th century suburban developments can be seen from within the Conservation Area to side streets off of Grove Road, but only Pitchcombe Gardens is located within the Conservation Area and this is identified as not being of character to the Conservation Area. By the same token the adjacent infill development to No. 24b Grove Road (Grove Court) in 1988 was arguably the last intensive infill prior to extending the Conservation Area and is considered to be a harmful feature.

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Grove Road however has a number of properties of varying styles, including detached and semi-detached housing set within more suburban layouts. Pavements servicing these properties come and go in phases throughout Grove Road and in general, such development is prevalent on the south-western side of Grove Road with the exception of Nos. 30-38 Grove Road located within 70m north-west of the site.

Many objectors have referred to the character of the large residential plots and their substantial gardens that form a transition to the Blaise Castle Estate. This is certainly the focus of the 1988 document referenced above. These properties are clearly identified as of importance to the character of the Conservation Area. While self-evident, the application site is located to Grove Road and is thus seen within this context by members of the public when viewing the site and members are advised that this should not be readily dismissed as forming part of the relevant character when assessing the proposals. This is particularly the case when the larger properties to the north cannot be viewed in relation to Grove Road and even No. 22 Grove Road is heavily screened from public view. In addition, it is noted that the existing building and proposed development is set over 25m within the site. When combined with boundary planting, clear views are limited to principally the driveway and the development would not be observed from any distance away along Grove Road. Any development is thus poorly perceived in relation to its surrounding development by the casual observer.

Members are therefore advised that to dismiss the variety of built forms across Grove Road, even when dismissing the suburban and infill developments of the latter half of the twentieth century, could appear somewhat arbitrary in assessing the impact upon the Conservation Area. Members must be satisfied what they consider makes up the character of this part of the Conservation Area in concluding upon the principal of the sub-division of this plot.

The submitted character appraisal by the applicant as part of further supporting justification has broken down Grove Road to its eastern side and western side. It sets out the average building footprint and plot coverage is 111sq m and 15% respectively for the eastern side. For the proposed development this would involve footprints of 82 sq m and 137 sq m, with plot coverages of 8% and 12%. Should members wish to place more emphasis upon the large plots nearby the site and adjacent to the Blaise Castle Estate, as is inferred from the 1988 document, members should consider their prevailing characteristics. These properties could be assessed as including Orchard Cottage, Hill View, as well as Nos. 22, 24 and 28 Grove Road and possibly No. 26a Grove Road also. For these larger properties plot coverages are significantly lower at between 4-6%, with a variety of footprints from 76 sq m to 138 sq m.

Plot density is considered however a very arbitrary measure in respect of assessing the character, due to it representing a perspective not seen from the public realm except from aerial views. Of more importance is the apparent density to the casual observer. That is how cramped or spacious development is perceived to be. Frontage widths and gaps between buildings are therefore considered to be of more relevance.

Your officers have reviewed the information available and can advise that the plot widths vary from approximately 18m to 30m, with building widths at between 5.5m to 15m. The existing house represents the joint largest plot width with No. 28 Grove Road at 30m and a building width of 18m. The scheme would maintain a shared frontage and given its deep set back the apparent impact upon this frontage would be limited. Nonetheless, the respective plot widths would be approximately 13m and 17m and the building widths 9.5m and 13m.

It is therefore considered that the resultant plot widths and building widths could be adequately accommodated of themselves. The scheme results in a nominal reduction in footprint and there would therefore be no meaningful loss of landscape garden, save for additional forecourt areas for parking. Both properties would retain large gardens and remain set well back from the highway.

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However, gaps between buildings are key in preventing a cramped and members will note that this is referenced in the criteria set out above. The proposed development would result in gaps between the buildings and their neighbours of 4.3m and 3.7m. The larger plots referenced above have significantly larger gaps of between 7-17m, but are often broken up by single storey ancillary buildings. This distance however remains above the average for Grove Road, where distances as low as 1-2m can be observed.

Members could therefore argue that the proposal presents a more cramped form of development than the character of this part of the Conservation Area if wishing to focus to the larger properties to the north. However, officers are of the view that the site cannot be so clearly divorced from the remainder of Grove Road when assessing the proposal's impact. Even were members to conclude that this should be the case the extensive set back and boundary planting would result in any identifiable relationship between surrounding properties being not particularly notable. Members are therefore advised that a reason for refusal on this basis could appear somewhat contrived. Officers therefore consider that the proposed layout, on balance, could be accommodated without a harmful impact upon the Conservation Area.

In respect of detailed appearance, the height of the proposed properties are in line with surrounding development, as is apparent within the site section submitted. The apparent scale and massing in relation to its neighbours is also reduced by the use of clipped gables. There is little to suggest a strong prevailing character to the Conservation Area in respect of materials and building forms beyond generous detached properties with tiled pitched roofs as is set out in the above criteria. Certain groupings of properties can be observed reflecting their development as one from original field boundaries (e.g. the arts and crafts properties to the southern end of Grove Road). The larger properties to the north and along this side of Grove Road are each unique and designed to read as individual buildings with different layouts and material choices. All of the materials and design features proposed within the development can be found in properties within the Conservation Area including vertical hanging tiles, stained timber, brick, render, the prevalence of chimneys, use of finials and also banding.

One of the chief concerns expressed over the detailed design is the prominence of the proposed garage to plot 1. This has been reduced by replacing with a car port. While this remains located to the front of the development it is located away from the feature gable and the access to the property would remain legible when approaching along the driveway (although not clearly seen in elevation due to its 2 dimensional representation). Given the variety of development forms to such detached properties within the Conservation Area, this layout is not considered harmful. Moreover, there is no clear building line for development within this area and the use of garages to then frontage of premises is not only visible to the 1980s development within Grove Court but also in detached garages to the properties on Grove Road either side of Beechfield Grove to the north-west.

A number of residents have also discussed the lack of a garage for plot 2. While garages are common, it cannot be said that garages are a design feature that should be enforced within the Conservation Area.

Suitable planting is proposed to the frontage and this can be re-enforced with additional landscaping along the driveway sought by condition.

BCC Urban Design have no objection to the revised scheme. Officers therefore consider the detailed design to be acceptable.

Ultimately the scheme is considered to maintain the semi-rural character of the Conservation Area. The proposal is considered overall, on balance, to have a neutral impact upon the character and appearance of the Conservation Area.

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(C) DOES THE PROPOSAL ADEQUATELY ADDRESS RESIDENTIAL AMENITY ISSUES?

The chief concern is the potential relationship with No. 24b Grove Road. The scheme is located 6m due south of this property, but at a corner-corner relationship. The proposed plot 1 is off-set from one another and there would be no meaningful window-window intervisibility given the angles at which these properties face or any degree of unacceptable overbearing impact. The degree of overshadowing is constrained by the fact that there is a large detached garage immediately in front of

No. 24b. No objection has been received from No. 24b Grove Road and a reason for refusal based upon unacceptable amenity impacts to this property are not considered to warrant refusal.

Impacts to other nearby properties are not considered harmful in respect of overshadowing/loss of daylight, overbearing impact/sense of enclosure or loss of privacy due to their layout of the proposed development to its neighbours. Impacts from headlights of traffic entering/exiting the driveway would be no different to other well established relationships across Grove Road and the wider area.

Future occupiers are provided with sufficient flexible and adaptable space to comply with the standards under Policy BCS18. Adequate outlook and daylight are provided to future occupiers alongside outdoor private amenity space. Suitable refuse storage arrangements have been provided.

The proposal adequately addresses this key issue.

(D) DOES THE PROPOSAL ADEQUATELY ADDRESS TRANSPORT ISSUES?

The proposal would provide sufficient off-street parking to facilitate each unit. This is in accordance with the adopted maximum parking standards. Turning is feasible to each proposed unit to allow for entry and exit in forward gear from the site.

Impacts from construction traffic would be for a limited period only and controlled by other regimes (e.g. skip licenses). This would not warrant refusal.

The use of gravel is limited to away from immediately adjacent to the public highway and it is not considered that a reason for refusal on this basis could be justified.

No objection is held by BCC Transport and the proposal adequately addresses this key issue.

(E) DOES THE PROPOSAL ADEQUATELY ADDRESS TREES, COMPENSATORY PLANTING AND NATURE CONSERVATION?

The submitted arboricultural report seeks the loss of 3 trees and BCC Arboriculture have advised that 6 replacement trees are required under the Bristol Tree Replacement Standard. This can be tied in with the landscaping set out above as adequate scope is available for tree planting within the site. The proposed protection measures are considered suitable by BCC Arboriculture. This includes the cell web system to be used for the driveway which has been questioned in the consultation response.

The site itself does not have any wildlife designations, but is located well within 500m of the boundary to Blaise Castle Estate, a site of Special Nature Conservation Interest SNCI, which includes the UK Priority Habitat lowland mixed deciduous woodland. An ecological report has been submitted and the Nature Conservation Officer is satisfied with the varied findings and conclusions to the update surveys. He has suggested that a range of conditions (see comments above) are applied to secure its recommendations, protection of protected species and mitigation for bird/bats.

Subject to conditions as referenced above, this key issue is adequately addressed.

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(F) DOES THE PROPOSAL SUFFICIENTLY ADDRESS SUSTAINABILITY AND FLOOD RISK ISSUES?

The scheme fails to incorporate a submitted sustainability statement in error (this is referred to within the submitted planning statement) and this has been requested and will be reported to members via the amendment sheet. It is clear from the inclusion of solar panels within the submitted roof plans that this has been assessed and it is anticipated that the 20% reduction in CO2 emissions by the use of solar panels will be demonstrated once this is submitted. The recommendations are written on the basis of referring to a submitted sustainability statement that adequately complies with Policies BCS13-15. Additional surface water run-off could be addressed by a standard condition.

(G) ARE ARCHAEOLOGY MATTERS ADEQUATELY ADDRESSED?

The City Archaeologist is satisfied that the risk of archaeological deposit being disturbed is low given the small change in footprint of development from the existing bungalow. The proposals therefore deal satisfactorily with archaeology.

(H) ARE LAND CONTAMINATION MATTERS SUFFICIENTLY ADDRESSED?

This key issue can be addressed by application of standard conditions (please refer to BCC Land Contamination comments above).

(I) WHAT IS THE COMMUNITY INFRASTRUCTURE LEVY LIABILITY?

The Community Infrastructure Liability is £5,250.

CONCLUSION

The key issue of focus in this application is whether the principal of two units of accommodation is acceptable upon this site and if so whether the detailed design of the proposal is appropriate. The scheme is considered to replicate similar building sizes and plot widths to the other large plots within this part of the Conservation Area. The gap between the buildings while narrower than the other large plots to the north is greater than the average distance between properties to Grove Road. When combined with the extensive set back and limited visibility, officers consider that the semi-rural character of the Conservation Area would be maintained.

Other issues are adequately addressed and officers, on balance, recommend that the scheme be approved.

RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Act 2004.

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Pre commencement condition(s)

2. Land affected by contamination - Site characterisation

No development shall take place until an investigation and risk assessment, in addition to any assessment provided with the planning application, has been completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme should be submitted to and be approved in writing by the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

(i) a survey of the extent, scale and nature of contamination;

(ii) an assessment of the potential risks to:

- * human health,
- * property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,
- * adjoining land,
- * groundwaters and surface waters,
- * ecological systems,
- * archaeological sites and ancient monuments;

(iii) an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's "Model Procedures for the Management of Land Contamination, CLR 11".

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

3. Land affected by contamination - submission of remediation scheme

No development shall take place until a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment has been prepared, submitted to and approved in writing by the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

4. Land affected by contamination - implementation of approved remediation scheme

In the event that contamination is found, no development other than that required to be carried out as part of an approved scheme of remediation shall take place until the approved remediation scheme has been carried out in accordance with its terms. The Local Planning

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Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and be approved in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

5. Site Clearance in Accordance with Ecology Report

All site clearance and construction works shall be carried out in strict accordance with the recommendations in the submitted update ecological survey report dated November 2013, unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of the protection and welfare of legally protected and priority species.

6. Reptile Method Statement Prior to Clearance

Prior to clearance of the site and/or commencement of development, a method statement shall be submitted to and approved in writing by the Local Planning Authority for the protection of reptiles from killing or injury as a result of the development. The development shall be carried out in accordance with the statement or any amendment approved in writing by the Local Planning Authority.

Reason: To protect legally protected reptiles and their habitats.

7. Submission and approval of landscaping scheme

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a scheme of hard and soft landscaping, which shall include a landscape maintenance plan for the establishment period (first 5 years), at least 6 new trees, a species-rich native hedgerow along the southern boundary of the site together with indications of stock sizes and species, as well as indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection, in the course of development. The approved scheme shall be implemented so that planting can be carried out during the first planting season following the occupation of the building(s) or the completion of the development whichever is the sooner. All planted materials shall be maintained for five years and any trees or plants removed, dying, being damaged or becoming diseased within that period shall be replaced in the next planting season with others of similar size and species to those originally required to be planted unless the council gives written consent to any variation.

Reason: To protect and enhance the character of the site and the area and to ensure its appearance is satisfactory.

8. Bird/bat boxes

Prior to commencement of development details shall be submitted providing the specification and location for built-in bird nesting and bat roosting opportunities. This shall include eight built-in bird and six built-in bat boxes and if built-in bird and bat boxes cannot be provided within built structures, they should be provided on trees (with no more than one bird box per

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tree). Bird boxes should be installed to face between north and east to avoid direct sunlight and heavy rain. Bat boxes should face south, between south-east and south-west. Bird boxes should be erected out of the reach of predators. For small hole-nesting species bird boxes should be erected between two and four metres high. Bat boxes should be erected at a height of at least four metres, close to hedges, shrubs or tree-lines and avoid well lit locations.

The approved details shall be implemented prior to the first occupation of the dwellings hereby approved.

Reason: To help conserve legally protected bats and birds which include priority species.

9. Badger protection

No development shall take place until measures to protect badgers from being trapped in open excavations and/or pipes and culverts are submitted to and approved in writing by the local planning authority. Measures shall include cover-plating, chain link fencing or the creation of sloping escape ramps for badgers by edge profiling of trenches/excavations or placing a plank in the bottom of open trenches at the end of each working day to allow any trapped badgers to escape. This is to prevent foraging badgers falling into trenches during the construction phase of the development. Open pipework larger than 150 mm outside diameter should be blanked off at the end of each working day.

Reason: To prevent harm to legally protected badgers.

10. Protection of retained trees during the construction period

No work of any kind shall take place on the site until the protective fence(s) has (have) been erected around the retained trees in the position and to the specification shown in the submitted Arboricultural Report and supporting appendices (including tree protection plan and cellweb specification). The Local Planning Authority shall be given not less than two weeks prior written notice by the developer of the commencement of works on the site in order that the council may verify in writing that the approved tree protection measures are in place when the work commences. The approved fence(s) shall be in place before any equipment, machinery or materials are brought on to the site for the purposes of the development and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Within the fenced area(s) there shall be no scaffolding, no stockpiling of any materials or soil, no machinery or other equipment parked or operated, no traffic over the root system, no changes to the soil level, no excavation of trenches, no site huts, no fires lit, no dumping of toxic chemicals and no retained trees shall be used for winching purposes. If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the council.

Reason: To protect the retained trees from damage during construction and in recognition of the contribution which the retained tree(s) give(s) and will continue to give to the amenity of the area.

11. Sustainable urban drainage system (SUDS)

No development shall take place until a detailed design of surface water drainage for the site using sustainable drainage methods has been submitted to and approved in writing by the Local Planning Authority. The approved development shall be implemented in accordance with the approved detailed design prior to the use of the building commencing.

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Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal.

12. Sample panels before specified elements started

Sample panels of the facing brick and render demonstrating texture, face bond and pointing are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The development shall be completed in accordance with the approved details before the building is occupied.

Reason: In order that the external appearance of the building is satisfactory.

13. Submission of samples before work starts

No development shall take place until samples of the following have been made available for inspection on site and been approved in writing by the Local Planning Authority:

- (i) All brick
- (ii) Render
- (iii) Roof tiles
- (iv) Hanging tiles

The development shall be carried out in accordance with the approved sample.

Reason: To ensure that the external appearance of the building is satisfactory.

14. Further details before relevant element started

Details of the following shall be submitted to and be approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

- a) Large scale drawings of roof ridges and eaves in section at a scale of 1:10
- b) Large scale elevations of car port at a scale of 1:20.
- c) Large scale sections of entrance doors and windows showing reveals at a scale of 1:10
- d) Manufacturer's details of windows and external doors demonstrating material, colour, finish and form.
- e) Supplier's details of all hard surfacing materials
- f) Supplier's details of stained timber demonstrating material, colour and finish.
- g) Supplier's details of timber frame to car port demonstrating material, colour and finish.
- h) Manufacturer's details of any external lighting demonstrating the appearance of the lighting product alongside its location.
- i) Large scale details at 1:20 of refuse store demonstrating materials, colour and finish.

Reason: In the interests of visual amenity and the character of the area.

15. Ecology Report Update After 12 Months

Should no development take place within twelve months from the date of the update ecological survey dated November 2013, the site shall be re-surveyed for legally protected and priority (Section 41) species and an updated survey submitted to and agreed by the Local Planning Authority. The development shall only take place in accordance with the recommendations and (if applicable) mitigation measures contained in the approved updated protected species survey, unless otherwise agreed in writing by the Local Planning Authority.

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Reason: To provide up to date information to determine whether legally protected and priority species are present on the site.

Pre occupation condition(s)

16. Land affected by contamination - Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Condition 2 and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Condition 3, which is to be submitted to and be approved in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 4.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

17. External Lighting

Prior to the occupation of the development or commencement of the relevant part, details for any proposed external lighting shall be submitted and agreed in writing by the Local Planning Authority. This shall include a lux level contour plan, and should seek to ensure no light spill outside of the site boundaries.

Reason: To conserve legally protected bats and other nocturnal wildlife.

18. The approved development shall be carried out in accordance with the details of the approved Sustainability Statement including the provision of the specified solar panel installations.

Reason: To reduce the developments energy demand and carbon dioxide emissions.

19. Implementation/installation of refuse storage and recycling facilities - shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

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20. Completion of vehicular access - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the means of vehicular access has been constructed and completed in accordance with the approved plans and the said means of vehicular access shall thereafter be retained for access purposes only.

Reason: In the interests of highway safety.

21. Completion and maintenance of car/vehicle parking - shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the car/vehicle parking area shown on the approved plans has been completed, and thereafter, the area shall be kept free of obstruction and available for the parking of vehicles associated with the development

Reason: To ensure that there are adequate parking facilities to serve the development.

List of approved plans

22. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

2857-PL2013-090 Site location plan, received 5 December 2013
 2857-PL2013-091 Existing plans and elevations, received 5 December 2013
 2857-PL2013-100F Proposed site plan, received 5 December 2013
 2857-PL2013-101E Plot 01 plans and elevations, received 12 March 2014
 2857-PL2013-102E Plots 2 plans and elevations, received 12 March 2014
 2857-PL2013-103E Proposed site sections, received 12 March 2014
 2857-PL2013-104G Proposed landscaping plan, received 12 March 2014
 2857-PL2013-105B Proposed site plan, received 12 March 2014
 Access and Transport Statement, received 5 December 2013
 Arboricultural Report, received 5 December 2013
 Ecology Update Report, received 4 March 2012

Reason: For the avoidance of doubt.

Advices

1. Please note that the recommendations of the ecology report include the provision of habitat on site for reptiles, the construction of a reptile hibernaculum in the northern part of the site, the identification of an off-site receptor area for reptiles (which is likely to require a reptile survey of the receptor site) and at least one brush pile for saproxylic (dead wood) invertebrates.
2. All species of bats and their roosts are legally protected. If bats are encountered all demolition or construction work should cease and the Bat Conservation Trust (Tel 0845 1300 228) should be consulted for advice.

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BACKGROUND PAPERS

Urban Design	19 March 2014
Contaminated Land Environmental Protection	27 December 2013
Nature Conservation Officer (Bristol City Council)	18 December 2013
Transport Development Management, City Transport	30 December 2013
Archaeology Team	22 January 2014
Landscape	23 December 2013
Arboricultural Team	20 March 2014
English Heritage	17 January 2014
The Conservation Advisory Panel	14 January 2014
Cllr Tim Leaman	3 February 2014
Mrs Karen Godden	7 January 2014
	23 March 2014
Mr Kaz Mehdevy	19 March 2014
Mr Brian Bush	8 January 2014
Julie Hensey	9 January 2014
B R Poole	4 January 2014
	20 March 2014
Mr David Hughes	7 January 2014
Mr Peter Warren	10 January 2014
Mr Wilfred Smith	5 January 2014
	21 March 2014
Dr John Bailey	8 January 2014
	20 March 2014
Professor Julian Paton	6 January 2014
Mr Lee Chelton	8 January 2014
	20 March 2014
Mr Duncan Matthews	8 January 2014
	20 March 2014
Mr Philip Ousley	9 January 2014
William Earp & Ian Mawditt	10 January 2014
Mrs Susan Gore-Langton	4 January 2014
Brian And Sonia Dunster	8 January 2014
Mr Paul Marchionne	9 January 2014
Lydia Winocour	8 January 2014
Mr Richard Little	9 January 2014
Mr Peter Bird	3 January 2014
	13 March 2014
Mrs Alison Bush	7 January 2014
Coombe Dingle Conservation Group	19 March 2014
Miss Jean Cramond	7 January 2014
Mr Paul Hodson	13 March 2014
Mrs Sheena Morgan	6 January 2014
Mr Paul Baker	8 January 2014
Mr & Mrs Garry & Rebecca Comley	10 January 2014
	23 March 2014
Mr Ian Mawditt	3 January 2014
Alastair Blackwell, Friends Of Blaise	9 January 2014
Mr & Mrs Colin & Rosemary Cooper	10 January 2014
Mr Robert Daniell	3 January 2014
Mr Richard Beard	4 January 2014
Anita M. G. Sims	7 January 2014
Mr Clive Stevens, Chair Bristol TreeForum	19 December 2013
	13 March 2014
Mr William Earp	12 January 2014

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For the sake of clarity this report differs from the previous report to committee as follows:

- *Incorporating the changes set out in the amendments sheet to the previous report.*
- *Following the statement from the Bristol Tree Forum, BCC Arboriculture have confirmed that they consider that the scheme would result in no additional pressure to fell Trees T19 and T20.*
- *At the end of this report is an addendum report covering interpretation of a section within Policy Advice Note 2: Conservation Area Enhancement Statements that was commented upon by the Coombe Dingle Conservation Group within their statement and that officers provided some advice on during the previous committee.*

COUNCILLOR REFERRAL

Councillor Tim Leaman has referred the application for determination by committee on the basis of the following commentary:

"Application 13/05391/F is referred on planning policy DM21 and local resident concerns and objections on the proposals impact on the Trym valley conservation area which include its high visibility to passers-by and the intensity of the proposed development."

SITE DESCRIPTION

The application site is located to the north-eastern side of Grove Road and consists of a large detached 1920s chalet style bungalow set centrally within an extensive garden. This benefits from two detached garages accessed via a dirt drive located down its south-eastern boundary. The property is in a relatively poor state of maintenance.

This is located within the Kingsweston and Trym Valley Conservation Area, which was extended to cover the Coombe Dingle area in 1988. The site also holds a number of trees subject to Tree Preservation Order No 1158/R located principally along the south-western and north-western boundaries of the front garden but also with two trees located to the rear garden.

The land historically associated with the application site to the north-east, which bounds onto Pitchcombe Gardens, is the subject of a separate application for redevelopment (ref: 13/05387/F) but currently remains undeveloped. To the south-east is a two-storey dwellinghouse set within a similarly sized garden. To the north-west is located Nos. 1 and 2 Grove Court, a late 1980s infill development set within the garden of No. 24b Grove Road. Directly opposite are the more suburban forms of the semi-detached pairs along the south-western side of Grove Road. Grove Road itself has a rural character by virtue of the lack of pavements and strong vegetated boundaries.

The wider surrounding character is varied, with distinct groupings of development which appear to be linked to the original field boundaries when compared against historic ordinance survey plans. This primarily is formed by a combination of large detached houses set within expansive gardens and more suburban detached and semi-detached properties of differing eras. The notable exception is the 1970s apartment block to Cedar Court to the south of the site on the junction with Pitchcombe Gardens.

To the north are the large detached houses of Hill View, Orchard Cottage and Pennywell set within large plots located off of Grove Road. While these properties remain distinct from the application site by virtue of being set far back and well screened from Grove Road and to a lesser extent from within the site, their large open plots form part of a transition from the Blaise Estate to the more suburban forms further within Coombe Dingle and a key component of the extension of the Kingsweston Conservation Area (as then known) to cover the Coombe Dingle area. Beyond this adjoining land to the north is located the Grade II* listed park and garden of the Blaise Castle Estate identified by the woodland. This is also a Site of Nature Conservation Interest.

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RELEVANT PLANNING HISTORY

It is noted that the issues of contention for this scheme make history of the surrounding area of some interest. This includes the attached land facing onto Pitchcombe Gardens. This can be summarised as follows:

In respect of the application site (including associated land fronting Pitchcombe Gardens) the following planning history is of relevance:

- o TPO No 302 was confirmed on 24th May 1988. TPO 302 identified 12 individual trees, 10, T1 -10 inclusive, located in the rear garden and 2 trees, T11 and T12 each located in the front garden. In addition to the individually named trees TPO 302 identified three separate groups of unspecified trees to include white birch, silver birch ash and yew.
- o In December 2010 an application was registered to complete some tree works and felling to protected trees. Following registration and subsequent discussion with the City Council's Arboricultural Officer changes were made to the originally intended schedule of works to ensure retention of several mature trees. On 21st January 2011 a decision was taken 10/05322/VC to permit some tree felling and tree surgery. TPO 302 was revoked and a new TPO 1158/R was confirmed the same day to include a number of matures trees not previously protected. TPO 1158 identifies 25 individual trees.
- o In March 2011 an enforcement complaint was received concerning the erection of a close boarded fence, upon the Pitchcombe Gardens boundary to the site; 11/30178/WAL refers. Following a visit on 11th April 2011, the Enforcement Officer confirmed a breach of planning control. It was not judged expedient at the time to take discretionary enforcement action and at the time of writing the fence remains insitu.
- o Application 11/04779/F for Erection of 4 dwellings (and demolition of single detached garage), with associated vehicular access from Grove Road; provision of private gardens and new landscaping, and works to existing trees was refused following officer feedback that the scheme would likely be refused. This arranged one new build house to the rear garden of Grove Road and 3 new houses within the land adjacent to Pitchcombe Gardens, with all accessed from Grove Road. This was withdrawn.
- o Application 12/03546/F for Erection of 2 no. dwellings with associated vehicular access from Pitchcombe Gardens; provision of private gardens and new landscaping and works to existing trees was refused on 22nd October 2012 for the following reasons:
 1. The proposed development would result in the unsatisfactory loss of a substantial portion of an existing private garden together with the creation of new homes within the curtilage of an existing dwelling which is neither within or near a designated centre nor close to any main public transport route(s). For the reasons given proposals would result in an unsustainable form of development and would be contrary to policy BCS20 of the Bristol Core Strategy 2011, policy DM19 of the Draft Management Policies 2012 and the National Planning Policy Framework 2012.
 2. The proposed development by virtue of its location, scale, layout and form, would fail to either preserve or enhance the character and appearance of the Kingsweston and Trym Valley Conservation Area. For the reasons given the proposal is contrary to Bristol Local Plan Policies NE3, B2, B6, and B15 together with policies BCS20, BCS21 and BCS22 of the Core Strategy (June 2011) and Site Allocations and Development Management Policies DM 25, DM 26, DM27 and DM29; March 2012.
 3. The proposed development would result in an unjustified and unacceptable loss of private open space that makes an important positive contribution to the green infrastructure network of the neighbourhood. For the reason given proposals are contrary to Policy NE1, NE3 and

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NE11 of the Bristol Local Plan, Policy BCS9 of the Core Strategy (June 2011) and DM15 of Development Management Preferred Approach Document (March 2012) .

- o This was subsequently dismissed at appeal (ref: APP/Z0116/A/12/2186714/NWF) on 10th April 2013 with the inspector upholding only reason 2 of the reasons for refusal. A copy of this decision has been appended to the application file as a background document for ease of reference.
- o Application 12/05559/H for Refurbishment of existing building including new first floor. Partial demolition, including roof and bay window. Demolition of existing garage and new double garage proposed. Was refused on 07th February 2013 for the following reason: "The proposed development by reason of its proposed height, scale, massing and detailed design would fail either to preserve or enhance the character and appearance of the Kingsweston and Trym Valley Conservation Area. For the reasons given proposals are contrary to policies BCS21 and BCS22 of the Core Strategy (June 2011)."
- o Application 13/02768/H for Single storey extension to rear of property was granted on 19th August 2013.

The following history is of interest in the surrounding area:

- o Land to the rear of 20 Grove Road (i.e. the current Pitchcombe Gardens) - Application 71/02768/U_U for erection of 4 detached houses with double garages was granted.
- o 26 Grove Road - Application 86/01366/F for Erection of three detached houses with separate garages, existing house to be demolished was granted and subsequently an amended application (ref: 86/03051/F) was also granted.
- o Land at 44 and 48 Grove Road - Application 00/01093/F/N for the replacement of two bungalows with two two-storey houses, with an adjoining orchard/paddock forming part of the grounds of one of the new houses, was granted on 2nd November 2000. Both the new houses have since been built. Whilst construction works was preceding on the approved scheme a further planning application (ref: 00/01094/F) for construction of a third house, intended upon the orchard, was refused. A subsequent appeal (ref: APP/Z0116/A/00/1048783) was dismissed on 26th April 2001 as proposals would fail to preserve the character and appearance of the Kingsweston and Trym Valley Conservation Area, to include detriment to the setting of the neighbouring Grade 2* Listed Blaise Castle Estate. refers.

APPLICATION DESCRIPTION

The proposal seeks to demolish the existing bungalow and construct two detached 2-storey houses, with the eaves of the roof set below the window lintel height. The existing dirt driveway would be removed and a new driveway formed by hardstanding would be located slightly north of centre within the plot to serve the two dwellings.

The dwellings would be located approximately to the same position within the site as the bungalow. These would be located 2m from the north-western boundary and 2.5m from the south-east boundary, with a gap between them of 3.6m. The properties have a ridge height of approximately 8.5m and eaves height of 5m.

Each property would be of a unique design, both of which however seek to reference some of the more traditional development within the surrounding area. Plot 1 would appear slightly more grand in nature through the use of a timber framed car port INTEGRATED to the front of the building, the use of gables over windows due to the eaves height and a prominent projecting gable finished in red brick

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and stained timber, to contrast with the render of the main building. Plot 2 would also be finished in render with a projecting gable feature. This gable feature is less visually dominant being finished in render also and hanging tile to first floor level. Both properties would have timber casement windows and timber doors, solar panel set the facing south-west roof slope and be set on brick plinths with timber finials to their feature gable windows. They would also benefit from a brick chimney and clay tile roofs with clipped gables to their flanks.

The scheme would result in the loss of three trees to the frontage to enable the relocated driveway and additional hedgerow planting is proposed.

Amendments were received during the lifetime of the application in response to commentary from officers to change the garage to a car port to address conflicts with a retained tree and the visual dominance of this feature. The design was also rationalised to include finials to only the feature gables, replace the gables with clipped gables to reduce the massing of the roof forms and to increase the bulk of the chimneys to give them more visual weight in the design. Other clarifications were also provided on tree protection and a minor correction of the submitted ecology report.

A prepared sustainability statement has not been submitted in error (see Key issues below) and will be secured by the time of committee. Revised elevations have also been requested to show the solar panels in elevation.

RESPONSE TO PUBLICITY AND CONSULTATION

53 neighbour notifications were issued alongside a site notice and press notice. 32 objections were received alongside 1 neutral comment and 1 comment in support. These comments were received before the amendments described above were received and a re-consultation was issued. The response from this re-consultation will be reported to members through the amendment sheet. However, to date comments have advised that the amendments have not addressed the concerns raised.

The comments received can be summarised as follows [with officer commentary in square brackets]:

- Loss of garden land should be resisted.
- Two houses is an overdevelopment.
- Do not object to two houses if the design is appropriate.
- Subdivision of the garden would harm the Conservation Area.
- The existing site requires improvement and the centrally located driveway is liked. The scheme is better than any previous application but a garage for both houses would be preferable.
- The design results in an awkward fit with a garage being placed to the front of one property and the other not having any garage. The site is therefore only appropriate for one house.
- The garage would dominate views from Grove Road.
- The use of a shared drive results in the appearance of an overly cramped development.
- The design is generic and unimaginative and no period distinction at all.
- The houses are too close together.
- The houses are too tall.
- Loss of symmetry of the bungalow design.
- Loss of the rural woodland feel that forms part of the character of the Conservation Area and setting to the Grade II* listed park and garden of the Blaise Estate to a more suburban character.
- The scheme will not preserve or enhance the Conservation Area.
- Inadequate off-street parking to serve the development.
- Increased vehicular traffic to area.
- Site is not accessible by public transport.

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- Impact of construction works on access.
- Impact on nature conservation interests.
- Loss of trees.
- Loss of privacy to adjacent properties.
- The proposal does not significantly adversely impact upon No. 22 Grove Road (from resident of No. 22).
- Relocation of driveway will shine car lights into property opposite.
- The scheme should be assessed alongside the proposal for the land fronting Pitchcombe Gardens. [Each application is legally required to be assessed on its own individual merits - members are entitled to assess an active application as a material consideration in respect of their cumulative impact or impact upon one another but the schemes cannot be assessed as a single submission.]
- The developer has not engaged with local residents [While regrettable, this is not a material planning consideration.]
- Require visuals or examples of architects previous finished work to assess their quality [The former cannot be required but coloured elevations have been requested by the officer to help show the material finish within the design, but not provided. The latter cannot be required and would not be reasonable to request.]
- Objectors offered their views on a preferable form of development being refurbishment, one bungalow, two bungalows or one house. [Members are required to assess the application before them and whether this is acceptable not whether a preferable form of development is possible].
- Future detrimental alterations would be applied for. [As above, each application is to be assessed on its individual merits and a refusal cannot be issued on the basis of future possible development that would be assessed on its own merits at the time.]
- A previous application for four houses was refused [this related to a single new dwelling within the rear garden of the application site and the remaining three units to the land adjacent to Pitchcombe Gardens. This was not refused but withdrawn and this scheme does not form a material planning consideration as a result.]
- Risk of setting a precedent for future development at nearby properties [as set out above each application is to be assessed on its individual merits].
- It is regulation that all new houses should be supplied with garages [This is not the case.]

Following re-consultation on the revised plans it can now be advised that a total of 16 objections from parties who had already commented have been received reiterating the same concerns and advising that the revisions made did not overcome the concerns originally stated.

The Friends of Blaise objected to this application and application 13/05387/F to the land fronting onto Pitchcombe Gardens on the basis that the site forms part of a large garden that forms the setting to the Blaise estate, which is part of the Conservation Area's purpose. They consider such density of development inappropriate to the landscape of the Conservation Area. Other comments made relate to the adjoining site.

The Bristol Tree Forum has expressed concern over the practicality of tree retention through the set method for laying the driveway and future pressure to fell trees T19 and T20.

The Coombe Dingle Conservation Group, in summary, raised the following points in their comments:

- The bungalow, while worthy of preservation has fallen into such disrepair that replacement is probably necessary.
- The driveway location retains attractive group of mature Hornbeams from loss compared to previous proposals.
- Use of hedgerow planning is welcomed compared to the cheap fencing put up recently by the developer elsewhere.
- The two units result in an unattractive cramped feel. The resulting plots are long and narrow.

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- The layout is inconsistent and unattractive, with the garage to Plot 1 [now a car port] blocking the outlook of occupiers. Plot 2 has no garage, which is an omission for a modern house of this size in this setting and is done to reduce the apparent density of development. Future occupants would surely apply for one [see above commentary on future applications].
- The simple designs and basic materials used suggest a lazy approach on the designer's part. These houses are a standard, 'off-the-peg' design for contemporary executive dwellings, of a type that can be encountered anywhere. The architects have clearly given no thought to the context of the area and its character and ambience.
- The scheme fails to preserve the character of the semi-rural large houses set in mature gardens. The division of the plot fails to retain the mature garden.

The Campaign to Protect Rural England (South Gloucestershire/North Bristol District) have made the following comments in summary:

- The design and layout is unsuitable and would completely alter the character of the location.
- The proposal would be contrary to emerging Policy DM21 covering loss of private gardens.
- While the applicant has referenced the presumption in favour of sustainable development within the NPPF, but this ignores the environmental role of sustainable development and the preference for previously developed land.
- The proposal would also compound the harms associated with the application for the neighbouring plot.

The Bristol Conservation Advisory Panel (CAP) made the following comments:

"As in the above application (13/05387/F to Pitchcombe Gardens), the design was again developer's pattern book, which in this context failed to reflect the character of the conservation area. The Panel considered the proposal was also car dominated. The Panel objected because the development would harm the setting and character of the conservation area. The Panel considered the design of the houses should be driven by an understanding and affinity with the landscape. Because of the previous finds that included a Roman coffin, the Panel recommended an archaeological investigation."

Bristol CAP has since ceased as part of restructuring with reduced BCC City Design Group ability to resource this group. The intention is for this to be replaced by the Bristol Heritage Forum in a different format to Bristol CAP and no revised comments can be gained as a result.

Comments from Councillor Tim Leaman outside of the referral are as follows:

"The planning inspector has previously rejected the most recent developer appeal regarding the land at 24 Grove Rd. He said that he had "no objection in principle to development in a modest and sensitive manner". I would like to comment separately on each newly submitted application. Starting with application 13/05391/F which does not do not in my view support the stated aims for the Trym valley conservation area.

The application to build two 4-bedroom detached houses is a case of garden grabbing or comes under planning policy DM21. This is not in keeping with existing development in Coombe Dingle and is easily visible to residents and passers-by from the main highway. This feels an over developed proposal with the design and layout not only un-imaginative but compromising in its use of the available open space. This will not enhance or add to the existing natural surroundings and I urge that this be rejected under delegated powers or referred for DC North planning committee for consideration."

Subsequent comments incorporated under the previous report's amendment sheet:

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“**The Character appraisal**, points 1 and 2 in support. **Revised plans** contains references to a lack of contact from the developer with residents and the conservation group. Previous objections raised as commented as still being valid on which I support.

Building design, I support the points raised in particular the references to trees and BS5837.

Statistics v aesthetics I support the comments regarding housing density and the proximity of the two dwellings currently proposed which is a material consideration and not complying with development policies for the area. Preservation of the landscape is seen as the principle objective within the Trym Valley conservation area.”

OTHER COMMENTS

Urban Design has commented as follows:-

Revised drawings generally address my previous concerns

Contaminated Land Environmental Protection has commented as follows:-

The proposed scheme is sensitive to contamination and will involve significant landscaping works. The site also falls within a Radon Referral Area. The applicant is advised to undertake a Radon Risk Assessment prior to works commencing.

The applicant needs to demonstrate the site is fit for purpose by undertaking a site investigation therefore I recommend standard conditions B11, B12, B13 and C1 are applied to any planning consent.

Nature Conservation Officer (Bristol City Council) has commented as follows:-

Conditions should be required covering:

- an updated survey if development does not take place within 12 months of consent
- compliance with the ecology report with regards to site clearance.
- a method statement for protection of reptiles
- details of proposed external lighting
- landscaping to employ native species
- details of 8 built in bird boxes and six built in bat boxes
- No clearance during bird nesting season of structures suitable for nesting birds.
- protection of badgers during construction works

An advisory note should be attached on protection of bats also.

Transport Development Management, City Transport has commented as follows:-

My main concern with this development is the use of gravel on the driveway. Gravel is not favoured as it is often drawn onto the highway causing various issues. A method of ensuring that the gravel goes not enter the highway or another permeable surface should be used. This is required under the Highways Act 1980, Section 151.

Other points considered to be acceptable were:

- It is stated that the bin and recycling store is within 30m of the house and 25m of the road.
- Cycle parking can be provided in the rear gardens or the garage for plot 1.
- The proposed relocation of the driveway away from Long Acres Close with increased visibility

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- improves the situation.
- Whilst the location will require the use of a car, this is catered for by the parking provision.

In the event of permission being granted I would recommend that the following conditions are imposed: C5, C7 and C12.

Archaeology Team has commented as follows:-

I am happy that no further work is needed here given that development is largely constrained to the existing footprint of the bungalow.

Landscape has commented as follows:-

Grove Road appears to have a "quiet lanes" character with no formal sidewalks and the boundaries coming down to the edge of the carriageway. The soft landscape treatment to the roadside boundary should retain and enhance and contribute to this character and the outline proposals shown on Proposed Landscaping Plan drg no. 2857-PL2013-104 rev E appear to be in line with this objective.

It is suggested that the detail soft landscape drawings show new and enhanced native hedgerow coming up to the driveway entrance on either side.

The applicant may wish to consider the planting of additional fruit trees on non-dwarfing rootstocks in the back gardens to act as a food resource for residents and wildlife.

It is queried whether the location of the bin / recycling store is sufficiently tucked away out of site of the road and will be adequately screened.

The usual condition would be expected for detailed hard and soft landscape proposals including existing and proposed planting, specification notes covering topsoil depths, cultivation, planting, irrigation and maintenance covering the initial 5 year establishment period to help ensure that the planting thrives.

Arboricultural Team has commented as follows:-

The site has numerous mature trees on site which have considerable value in contribution to the amenity of the surrounding area around the periphery of the Blaise Estate.

The proposals detail the creation of a new driveway through the centre of the site and the construction of two dwellings in replacement of a single bungalow. The new driveway will be located through the root protection areas of several trees. While there is likely to be some disturbance, if protection measures and installation of cellweb protection is carried out with the upmost care I do not consider that the affected trees will suffer any long term impact.

I can confirm that the amended proposals to the car port are not likely to be detrimental to the adjacent retained trees and I consider them to be acceptable. The submitted Tree report sets out that trees T8, T8a and T7a are to be lost. The Bristol Tree Replacement Standard would apply - Given that T8 and 8a just tip the balance into the next category and T7a is only 75mm diameter, it is reasonable to require six trees in replacement for the losses.

English Heritage has commented as follows:-

No comment.

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RELEVANT POLICIES

National Planning Policy Framework – March 2012

Bristol Local Plan, Adopted December 1997

B2	Local Context
B5	Layout and Form
B6	Building Exteriors and Elevations
B22	Sites of Archaeological Significance
M1	Transport Development Control Criteria
NE3	Trees and Woodlands (including tree planting and the Community Forest)
ME2	Location and Design of Developments
ME6	Contaminated Land
NE11	New Development: Natural Environment Considerations

Bristol Core Strategy (Adopted June 2011)

BCS5	Housing Provision
BCS9	Green Infrastructure
BCS10	Transport and Access Improvements
BCS13	Climate Change
BCS14	Sustainable Energy
BCS15	Sustainable Design and Construction
BCS16	Flood Risk and Water Management
BCS18	Housing Type
BCS20	Effective and Efficient Use of Land
BCS21	Quality Urban Design
BCS22	Conservation and the Historic Environment
BCS23	Pollution

Bristol Site Allocations and Development Management Policies (emerging)

DM1	Presumption in favour of sustainable development
DM14	The health impacts of development
DM17	Development involving existing green infrastructure
DM19	Development and nature conservation
FDM21	Development of private gardens
DM23	Transport development management
DM26	Local character and distinctiveness
DM27	Layout and form
DM29	Design of new buildings
DM31	Heritage assets
DM32	Recycling and refuse provision in new development
DM34	Contaminated land

Supplementary Planning Guidance

PAN 1	Residential Guidelines (November 1993)
PAN 2	Conservation Area Enhancement Statements (November 1993)

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KEY ISSUES

A number of the objections from the public consultation make reference to the application to the land adjacent to Pitchcombe Gardens and that both schemes should be assessed collectively. As is set out above members are legally bound to assess the applications upon their individual merits. Members are entitled to assess the adjoining proposal as a material planning consideration in respect of cumulative impact or impacts upon one another. It is however considered that the two cannot be realistically viewed together apart from within private land and given the generous plot sizes would have no direct impact upon one another in respect of amenity impacts or nature conservation impacts.

(A) IS THE PRINCIPLE OF DEVELOPMENT ACCEPTABLE IN LAND USE TERMS?

The application site is already established as a residential use. The development site consists of the existing bungalow, to be demolished, and some of its private garden. Consideration of emerging Policy DM21, covering development involving loss of private gardens, must therefore be applied. This policy seeks to prevent development involving the loss of private gardens unless in the interests of improved urban design, extensions to existing houses or where the site is located within an area suitable for higher density development.

In this case, the relative footprint of development would actually be reduced by 3 sq m and the proposal would therefore not breach this policy by virtue of reducing the extent of the plot covered by built form. As a consequence members are advised that a reason for refusal on the basis of this policy is not considered reasonable.

The scheme is therefore acceptable in land use terms. Other planning considerations, such as design considerations, are addressed in the key issues below.

(B) DOES THE PROPOSAL SAFEGUARD THE CHARACTER AND APPEARANCE OF THE KINGSWESTON AND TRYM VALLEY CONSERVATION AREA AS WELL AS THE SETTING OF THE BLAISE CASTLE ESTATE?

Adopted Policies require development proposals to safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance. This includes Conservation Areas and listed parks and gardens. The significant weight to be attributed to the City Council's Kingsweston and Trym Valley Conservation Enhancement Statement(s) is confirmed in the supporting text to Policy BCS22 of the Core Strategy June 2011. Page 128 of the explanatory text to the Core Strategy confirms that the 1993 Conservation Enhancement Statements are among a group of documents that "will continue to be used to guide decisions on development proposals".

The officer report for the previous refusal for addition of a further floor to the bungalow described the existing property as "Though not particularly distinguished the existing bungalow does sit well in a landscaped open space setting. As a consequence the existing bungalow is judged an asset to the Conservation Area though not particularly visible in the public realm." The existing bungalow is however in a dilapidated state and it is recommended that its replacement with an appropriately designed scheme should not be objected to in principle.

The impact upon the setting of Blaise Castle Estate is considered to not be harmful given the development constitutes a similar footprint of development and would not encroach into the rear garden. Moreover, there is no meaningful visibility out of the estate across this site.

Policy Advice Note 2: Conservation Area Enhancement Statement sets out that "Within the Coombe Dingle and Trym Valley Area development has often been of a character degrading and reducing the quality of the landscaped gardens and traditional buildings. There is a need to encourage a more sensitive approach to potential development, and protect the established layout and built form." This document goes onto to set a series of General Enhancement Objectives referring to the set of policies

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set out in the report on the proposed extension of the Conservation Area to Coombe Dingle in 1988. This states that future development should take account of the rural character of Coombe Dingle with particular reference to prevailing density, site coverage and the spatial relationships between buildings. It sets out 5 criteria for future development as:

- (i) Retaining the pattern of detached dwellings set in large gardens with ample landscaping
- (ii) Locate buildings well back from road frontages with a clear width between properties.
- (iii) Continue the use of traditional forms/materials, including pitched tiled roofs both to principal buildings and offshoots
- (iv) Retain the existing mature trees and shrubs and further strengthen the woodland planting by insertion of new planting
- (v) Respect the means of enclosure and reflect the predominant traditional forms of the locality be it, hedging or natural walking. This should be at least one metre in height

Members should however be aware that the age of this document and the handful of later infill developments since reduced the weight that the Inspector gave to this document on the adjacent site fronting onto Pitchcombe Gardens in a previous appeal.

This key issue can be focused upon whether two units can be accommodated within the character of the Conservation Area and, if accepting this, whether the detailed design proposed is appropriate.

When assessing the impact upon the Conservation Area it is first crucial to identify the character of this part of the Conservation Area. A number of 20th century suburban developments can be seen from within the Conservation Area to side streets off of Grove Road, but only Pitchcombe Gardens is located within the Conservation Area and this is identified as not being of character to the Conservation Area. By the same token the adjacent infill development to No. 24b Grove Road (Grove Court) in 1988 was arguably the last intensive infill prior to extending the Conservation Area and is considered to be a harmful feature.

Grove Road however has a number of properties of varying styles, including detached and semi-detached housing set within more suburban layouts. Pavements servicing these properties come and go in phases throughout Grove Road and in general, such development is prevalent on the south-western side of Grove Road with the exception of Nos. 30-38 Grove Road located to the north-east side within 70m further up Grove Road from the application site.

Many objectors have referred to the character of the large residential plots and their substantial gardens that form a transition to the Blaise Castle Estate. This is certainly the focus of the 1988 document referenced above. These properties are clearly identified as of importance to the character of the Conservation Area. While self-evident, the application site is located to Grove Road and is thus seen within this context by members of the public when viewing the site and members are advised that this should not be readily dismissed as forming part of the relevant character when assessing the proposals. This is particularly the case when the larger properties to the north cannot be viewed in relation to Grove Road and even No. 22 Grove Road is heavily screened from public view. In addition, it is noted that the existing building and proposed development is set over 25m within the site. When combined with boundary planting, clear views are limited to principally the driveway and the development would not be observed from any distance away along Grove Road. Any development is thus poorly perceived in relation to its surrounding development by the casual observer.

Members are therefore advised that to dismiss the variety of built forms across Grove Road, even when dismissing the suburban and infill developments of the latter half of the twentieth century, could appear somewhat arbitrary in assessing the impact upon the Conservation Area. Members must be satisfied what they consider makes up the character of this part of the Conservation Area in concluding upon the principal of the sub-division of this plot.

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The submitted character appraisal by the applicant as part of further supporting justification has broken down Grove Road to its eastern side and western side. It sets out the average building footprint and plot coverage is 111sq m and 15% respectively for the eastern side. For the proposed development this would involve footprints of 82 sq m and 137 sq m, with plot coverages of 8% and 12%. Should members wish to place more emphasis upon the large plots nearby the site and adjacent to the Blaise Castle Estate, as is inferred from the 1988 document, members should consider their prevailing characteristics. These properties could be assessed as including Orchard Cottage, Hill View, as well as Nos. 22, 24 and 28 Grove Road and possibly No. 26a Grove Road also. For these larger properties plot coverages are significantly lower at between 4-6%, with a variety of footprints from 76 sq m to 138 sq m.

Plot density is considered however a very arbitrary measure in respect of assessing the character, due to it representing a perspective not seen from the public realm except from aerial views. Of more importance is the apparent density to the casual observer. That is how cramped or spacious development is perceived to be. Frontage widths and gaps between buildings are therefore considered to be of more relevance.

Your officers have reviewed the information available and can advise that the plot widths vary from approximately 18m to 30m, with building widths at between 5.5m to 15m. The existing house represents the joint largest plot width with No. 28 Grove Road at 30m and a building width of 18m. The scheme would maintain a shared frontage and given its deep set back the apparent impact upon this frontage would be limited. Nonetheless, the respective plot widths would be approximately 13m and 17m and the building widths 9.5m and 13m.

It is therefore considered that the resultant plot widths and building widths could be adequately accommodated of themselves. The scheme results in a nominal reduction in footprint and there would therefore be no meaningful loss of landscaped garden, save for additional forecourt areas for parking. Both properties would retain large gardens and remain set well back from the highway.

However, gaps between buildings are key in preventing a cramped appearance and members will note that this is referenced in the criteria set out above. The proposed development would result in gaps between the buildings and their neighbours of 4.3m and 3.7m. The larger plots referenced above have significantly larger gaps of between 7-17m, but are often broken up by single storey ancillary buildings. This distance however remains above the average for Grove Road, where distances as low as 1-2m can be observed.

Members could therefore argue that the proposal presents a more cramped form of development than the character of this part of the Conservation Area if wishing to focus upon the larger properties to the north. However, officers are of the view that the site cannot be so clearly divorced from the remainder of Grove Road when assessing the proposal's impact. Even were members to conclude that this should be the case the extensive set back and boundary planting would result in any identifiable relationship between surrounding properties being not particularly notable. Members are therefore advised that a reason for refusal on this basis could appear somewhat contrived. Officers consider that the proposed layout, on balance, could be accommodated without a harmful impact upon the Conservation Area.

In respect of detailed appearance, the height of the proposed properties are in line with surrounding development, as is apparent within the site section submitted. The apparent scale and massing in relation to its neighbours is also reduced by the use of clipped gables. There is little to suggest a strong prevailing character to the Conservation Area in respect of materials and building forms beyond generous detached properties with tiled pitched roofs as is set out in the above criteria. Certain groupings of properties can be observed reflecting their development as one from original field boundaries (e.g. the arts and crafts properties to the southern end of Grove Road). The larger properties to the north and along this side of Grove Road are each unique and designed to read as individual buildings with different layouts and material choices. All of the materials and design

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features proposed within the development can be found in properties within the Conservation Area including vertical hanging tiles, stained timber, brick, render, the prevalence of chimneys, use of finials and also banding.

One of the chief concerns expressed over the detailed design is the prominence of the proposed garage to plot 1. This has been reduced by replacing it with a car port. While this remains located to the front of the development it is located away from the feature gable and the access to the property would remain legible when approaching along the driveway (although not clearly seen in elevation due to its 2 dimensional representation). Given the variety of development forms to such detached properties within the Conservation Area, this layout is not considered harmful. Moreover, there is no clear building line for development within this area and the use of garages to the frontage of premises is not only visible to the 1980s development within Grove Court but also in detached garages to the properties on Grove Road either side of Beechfield Grove to the north-west.

A number of residents have also discussed the lack of a garage for plot 2. While garages are common, it cannot be said that garages are a design feature that should be enforced within the Conservation Area.

Suitable planting is proposed to the frontage and this can be re-enforced with additional landscaping along the driveway sought by condition.

BCC Urban Design have no objection to the revised scheme. Officers therefore consider the detailed design to be acceptable.

Ultimately the scheme is considered to maintain the semi-rural character of the Conservation Area. The proposal is considered overall, on balance, to have a neutral impact upon the character and appearance of the Conservation Area.

(C) DOES THE PROPOSAL ADEQUATELY ADDRESS RESIDENTIAL AMENITY ISSUES?

The chief concern is the potential relationship with No. 24b Grove Road. The scheme is located 6m due south of this property, but at a corner-corner relationship. The proposed plot 1 is off-set from one another and there would be no meaningful window-window intervisibility given the angles at which these properties face or any degree of unacceptable overbearing impact. The degree of overshadowing is constrained by the fact that there is a large detached garage immediately in front of

No. 24b. No objection has been received from No. 24b Grove Road and a reason for refusal based upon unacceptable amenity impacts to this property is not considered to be justified.

Impacts to other nearby properties are not considered harmful in respect of overshadowing/loss of daylight, overbearing impact/sense of enclosure or loss of privacy due to the layout of the proposed development to its neighbours. Impacts from headlights of traffic entering/exiting the driveway would be no different to other well established relationships across Grove Road and the wider area.

Future occupiers are provided with sufficient flexible and adaptable space to comply with the standards under Policy BCS18. Adequate outlook and daylight are provided to future occupiers alongside outdoor private amenity space. Suitable refuse storage arrangements have been provided.

The proposal adequately addresses this key issue.

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(D) DOES THE PROPOSAL ADEQUATELY ADDRESS TRANSPORT ISSUES?

The proposal would provide sufficient off-street parking to facilitate each unit. This is in accordance with the adopted maximum parking standards. Turning is feasible to each proposed unit to allow for entry and exit in forward gear from the site.

Impacts from construction traffic would be for a limited period only and controlled by other regimes (e.g. skip licenses). This would not warrant refusal.

The use of gravel is limited to away from immediately adjacent to the public highway and it is not considered that a reason for refusal on this basis could be justified.

No objection is held by BCC Transport and the proposal adequately addresses this key issue.

(E) DOES THE PROPOSAL ADEQUATELY ADDRESS TREES, COMPENSATORY PLANTING AND NATURE CONSERVATION?

The submitted arboricultural report seeks the loss of 3 trees and BCC Arboriculture have advised that 6 replacement trees are required under the Bristol Tree Replacement Standard. This can be tied in with the landscaping set out above as adequate scope is available for tree planting within the site. The proposed protection measures are considered suitable by BCC Arboriculture. This includes the cell web system to be used for the driveway which has been questioned in the consultation response.

Concern has been expressed over the long-term retention of trees T19 and T20 located to the rear of the current bungalow by the Bristol Tree Forum. The proposed units would be no closer to these trees than the existing bungalow. Members could infer additional threat from 2no. two storey houses compared to a single bungalow. However, it should be noted that the proposed scheme locates a gap between the properties where the current bungalow is closest to this tree and has a feature bay window looking directly onto it. BCC Arboriculture have therefore advised that they consider there to be no additional pressure to fell these trees over the existing property.

The site itself does not have any wildlife designations, but is located well within 500m of the boundary to Blaise Castle Estate, a site of Special Nature Conservation Interest SNCI, which includes the UK Priority Habitat lowland mixed deciduous woodland. An ecological report has been submitted and the Nature Conservation Officer is satisfied with the varied findings and conclusions to the update surveys. He has suggested that a range of conditions (see comments above) are applied to secure its recommendations, protection of protected species and mitigation for bird/bats.

Subject to conditions as referenced above, this key issue is adequately addressed.

(F) DOES THE PROPOSAL SUFFICIENTLY ADDRESS SUSTAINABILITY AND FLOOD RISK ISSUES?

A sustainability statement and energy statement have now been submitted and confirm that the properties result in a reduction in carbon emissions of 23.93% and 23.52% for plots 1 and 2 respectively through the use of solar panels. Additional surface water run-off could be addressed by a standard condition.

(G) ARE ARCHAEOLOGY MATTERS ADEQUATELY ADDRESSED?

The City Archaeologist is satisfied that the risk of archaeological deposit being disturbed is low given the small change in footprint of development from the existing bungalow. The proposals therefore deal satisfactorily with archaeology.

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(H) ARE LAND CONTAMINATION MATTERS SUFFICIENTLY ADDRESSED?

This key issue can be addressed by application of standard conditions (please refer to BCC Land Contamination comments above).

(I) WHAT IS THE COMMUNITY INFRASTRUCTURE LEVY LIABILITY?

The Community Infrastructure Liability is £5,250.

CONCLUSION

The key issue of focus in this application is whether the principal of two units of accommodation is acceptable upon this site and if so whether the detailed design of the proposal is appropriate. The scheme is considered to replicate similar building sizes and plot widths to the other large plots within this part of the Conservation Area. The gap between the buildings while narrower than the other large plots to the north is greater than the average distance between properties to Grove Road. When combined with the extensive set back and limited visibility, officers consider that the semi-rural character of the Conservation Area would be maintained.

Other issues are adequately addressed and officers, on balance, recommend that the scheme be approved.

RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Act 2004.

Pre commencement condition(s)

2. Land affected by contamination - Site characterisation

No development shall take place until an investigation and risk assessment, in addition to any assessment provided with the planning application, has been completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme should be submitted to and be approved in writing by the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

(i) a survey of the extent, scale and nature of contamination;

(ii) an assessment of the potential risks to:

* human health,

* property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,

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- * adjoining land,
- * groundwaters and surface waters,
- * ecological systems,
- * archaeological sites and ancient monuments;

(iii) an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's "Model Procedures for the Management of Land Contamination, CLR 11".

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

3. Land affected by contamination - submission of remediation scheme

No development shall take place until a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment has been prepared, submitted to and approved in writing by the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

4. Land affected by contamination - implementation of approved remediation scheme

In the event that contamination is found, no development other than that required to be carried out as part of an approved scheme of remediation shall take place until the approved remediation scheme has been carried out in accordance with its terms. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and be approved in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

5. Site Clearance in Accordance with Ecology Report

All site clearance and construction works shall be carried out in strict accordance with the recommendations in the submitted update ecological survey report dated November 2013, unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of the protection and welfare of legally protected and priority species.

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6. Reptile Method Statement Prior to Clearance

Prior to clearance of the site and/or commencement of development, a method statement shall be submitted to and approved in writing by the Local Planning Authority for the protection of reptiles from killing or injury as a result of the development. The development shall be carried out in accordance with the statement or any amendment approved in writing by the Local Planning Authority.

Reason: To protect legally protected reptiles and their habitats.

7. Submission and approval of landscaping scheme

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a scheme of hard and soft landscaping, which shall include a landscape maintenance plan for the establishment period (first 5 years), at least 6 new trees, a species-rich native hedgerow along the southern boundary of the site together with indications of stock sizes and species, as well as indications of all existing trees and hedgerows on the land, and details of any to be retained, together with measures for their protection, in the course of development. The approved scheme shall be implemented so that planting can be carried out during the first planting season following the occupation of the building(s) or the completion of the development whichever is the sooner. All planted materials shall be maintained for five years and any trees or plants removed, dying, being damaged or becoming diseased within that period shall be replaced in the next planting season with others of similar size and species to those originally required to be planted unless the council gives written consent to any variation.

Reason: To protect and enhance the character of the site and the area and to ensure its appearance is satisfactory.

8. Bird/bat boxes

Prior to commencement of development details shall be submitted providing the specification and location for built-in bird nesting and bat roosting opportunities. This shall include eight built-in bird and six built-in bat boxes and if built-in bird and bat boxes cannot be provided within built structures, they should be provided on trees (with no more than one bird box per tree). Bird boxes should be installed to face between north and east to avoid direct sunlight and heavy rain. Bat boxes should face south, between south-east and south-west. Bird boxes should be erected out of the reach of predators. For small hole-nesting species bird boxes should be erected between two and four metres high. Bat boxes should be erected at a height of at least four metres, close to hedges, shrubs or tree-lines and avoid well lit locations.

The approved details shall be implemented prior to the first occupation of the dwellings hereby approved.

Reason: To help conserve legally protected bats and birds which include priority species.

9. Badger protection

No development shall take place until measures to protect badgers from being trapped in open excavations and/or pipes and culverts are submitted to and approved in writing by the local planning authority. Measures shall include cover-plating, chain link fencing or the creation of sloping escape ramps for badgers by edge profiling of trenches/excavations or placing a plank in the bottom of open trenches at the end of each working day to allow any trapped badgers to escape. This is to prevent foraging badgers falling into trenches during the construction phase

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of the development. Open pipework larger than 150 mm outside diameter should be blanked off at the end of each working day.

Reason: To prevent harm to legally protected badgers.

10. Protection of retained trees during the construction period

No work of any kind shall take place on the site until the protective fence(s) has (have) been erected around the retained trees in the position and to the specification shown in the submitted Arboricultural Report and supporting appendices (including tree protection plan and cellweb specification). The Local Planning Authority shall be given not less than two weeks prior written notice by the developer of the commencement of works on the site in order that the council may verify in writing that the approved tree protection measures are in place when the work commences. The approved fence(s) shall be in place before any equipment, machinery or materials are brought on to the site for the purposes of the development and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Within the fenced area(s) there shall be no scaffolding, no stockpiling of any materials or soil, no machinery or other equipment parked or operated, no traffic over the root system, no changes to the soil level, no excavation of trenches, no site huts, no fires lit, no dumping of toxic chemicals and no retained trees shall be used for winching purposes. If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the council.

Reason: To protect the retained trees from damage during construction and in recognition of the contribution which the retained tree(s) give(s) and will continue to give to the amenity of the area.

11. Sustainable urban drainage system (SUDS)

No development shall take place until a detailed design of surface water drainage for the site using sustainable drainage methods has been submitted to and approved in writing by the Local Planning Authority. The approved development shall be implemented in accordance with the approved detailed design prior to the use of the building commencing.

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal.

12. Sample panels before specified elements started

Sample panels of the facing brick and render demonstrating texture, face bond and pointing are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The development shall be completed in accordance with the approved details before the building is occupied.

Reason: In order that the external appearance of the building is satisfactory.

13. Submission of samples before work starts

No development shall take place until samples of the following have been made available for inspection on site and been approved in writing by the Local Planning Authority:

- (i) All brick
- (ii) Render
- (iii) Roof tiles

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(iv) Hanging tiles

The development shall be carried out in accordance with the approved sample.

Reason: To ensure that the external appearance of the building is satisfactory.

14. Further details before relevant element started

Details of the following shall be submitted to and be approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

- a) Large scale drawings of roof ridges and eaves in section at a scale of 1:10
- b) Large scale elevations of car port at a scale of 1:20.
- c) Large scale sections of entrance doors and windows showing reveals at a scale of 1:10
- d) Manufacturer's details of windows and external doors demonstrating material, colour, finish and form.
- e) Supplier's details of all hard surfacing materials
- f) Supplier's details of stained timber demonstrating material, colour and finish.
- g) Supplier's details of timber frame to car port demonstrating material, colour and finish.
- h) Manufacturer's details of any external lighting demonstrating the appearance of the lighting product alongside its location.
- i) Large scale details at 1:20 of refuse store demonstrating materials, colour and finish.

Reason: In the interests of visual amenity and the character of the area.

15. Ecology Report Update After 12 Months

Should no development take place within twelve months from the date of the update ecological survey dated November 2013, the site shall be re-surveyed for legally protected and priority (Section 41) species and an updated survey submitted to and agreed by the Local Planning Authority. The development shall only take place in accordance with the recommendations and (if applicable) mitigation measures contained in the approved updated protected species survey, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To provide up to date information to determine whether legally protected and priority species are present on the site.

Pre occupation condition(s)

16. Land affected by contamination - Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Condition 2 and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Condition 3, which is to be submitted to and be approved in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 4.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and

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ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

17. External Lighting

Prior to the occupation of the development or commencement of the relevant part, details for any proposed external lighting shall be submitted and agreed in writing by the Local Planning Authority. This shall include a lux level contour plan, and should seek to ensure no light spill outside of the site boundaries.

Reason: To conserve legally protected bats and other nocturnal wildlife.

18. The approved development shall be carried out in accordance with the details of the approved Sustainability Statement including the provision of the specified solar panel installations.

Reason: To reduce the developments energy demand and carbon dioxide emissions.

19. Implementation/installation of refuse storage and recycling facilities - shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

20. Completion of vehicular access - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the means of vehicular access has been constructed and completed in accordance with the approved plans and the said means of vehicular access shall thereafter be retained for access purposes only.

Reason: In the interests of highway safety.

21. Completion and maintenance of car/vehicle parking - shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the car/vehicle parking area shown on the approved plans has been completed, and thereafter, the area shall be kept free of obstruction and available for the parking of vehicles associated with the development

Reason: To ensure that there are adequate parking facilities to serve the development.

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List of approved plans

22. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

2857-PL2013-090 Site location plan, received 5 December 2013
2857-PL2013-091 Existing plans and elevations, received 5 December 2013
2857-PL2013-100F Proposed site plan, received 5 December 2013
2857-PL2013-101F Plot 01 plans and elevations, received 2 April 2014
2857-PL2013-102F Plots 2 plans and elevations, received 2 April 2014
2857-PL2013-103E Proposed site sections, received 12 March 2014
2857-PL2013-104G Proposed landscaping plan, received 12 March 2014
2857-PL2013-105B Proposed site plan, received 12 March 2014
Access and Transport Statement, received 5 December 2013
Arboricultural Report, received 5 December 2013
Ecology Update Report, received 4 March 2012
Sustainability Report, received 1 April 2014
Energy Report, received 1 April 2014

Reason: For the avoidance of doubt.

Advices

1. Please note that the recommendations of the ecology report include the provision of habitat on site for reptiles, the construction of a reptile hibernaculum in the northern part of the site, the identification of an off-site receptor area for reptiles (which is likely to require a reptile survey of the receptor site) and at least one brash pile for saproxylic (dead wood) invertebrates.
2. All species of bats and their roosts are legally protected. If bats are encountered all demolition or construction work should cease and the Bat Conservation Trust (Tel 0845 1300 228) should be consulted for advice.

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BACKGROUND PAPERS

Urban Design	19 March 2014
Contaminated Land Environmental Protection	27 December 2013
Nature Conservation Officer (Bristol City Council)	18 December 2013
Transport Development Management, City Transport	30 December 2013
Archaeology Team	22 January 2014
Landscape	23 December 2013
Arboricultural Team	20 March 2014
English Heritage	17 January 2014
The Conservation Advisory Panel	14 January 2014
Cllr Tim Leaman	3 February 2014
Mrs Karen Godden	7 January 2014
	23 March 2014
Mr Kaz Mehdevy	19 March 2014
Mr Brian Bush	8 January 2014
Julie Hensey	9 January 2014
B R Poole	4 January 2014
	20 March 2014
Mr David Hughes	7 January 2014
Mr Peter Warren	10 January 2014
Mr Wilfred Smith	5 January 2014
	21 March 2014
Dr John Bailey	8 January 2014
	20 March 2014
Professor Julian Paton	6 January 2014
Mr Lee Chelton	8 January 2014
	20 March 2014
Mr Duncan Matthews	8 January 2014
	20 March 2014
Mr Philip Ousley	9 January 2014
William Earp & Ian Mawditt	10 January 2014
Mrs Susan Gore-Langton	4 January 2014
Brian And Sonia Dunster	8 January 2014
Mr Paul Marchionne	9 January 2014
Lydia Winocour	8 January 2014
Mr Richard Little	9 January 2014
Mr Peter Bird	3 January 2014
	13 March 2014
Mrs Alison Bush	7 January 2014
Coombe Dingle Conservation Group	19 March 2014
Miss Jean Cramond	7 January 2014
Mr Paul Hodson	13 March 2014
Mrs Sheena Morgan	6 January 2014
Mr Paul Baker	8 January 2014
Mr & Mrs Garry & Rebecca Comley	10 January 2014
	23 March 2014
Mr Ian Mawditt	3 January 2014
Alastair Blackwell, Friends Of Blaise	9 January 2014
Mr & Mrs Colin & Rosemary Cooper	10 January 2014
Mr Robert Daniell	3 January 2014
Mr Richard Beard	4 January 2014
Anita M. G. Sims	7 January 2014
Mr Clive Stevens, Chair Bristol TreeForum	19 December 2013
	13 March 2014
Mr William Earp	12 January 2014

Development Control (North) Committee – 23 April 2014**Application No. 13/05391/F: 24 Grove Road Coombe Dingle Bristol BS9 2RL****ADDENDUM REPORT – Addressing the interpretation of paragraph 2 of the General Enhancement Objectives for the Kingsweston and Trym Valley Conservation Area within Policy Advice Note 2: Conservation Area Enhancement Statements**

During the committee on 2 April 2014 members will recall the statement from the Coombe Dingle Conservation Group. This referenced that the scheme conflicted with the advice set out in Policy Advice Note 2: Conservation Area Enhancement Statements (PAN2) for the Conservation Area. Specifically the statement set out that para. 2 of the General Enhancement Objectives for the Conservation Area stated:

“The insertion of new residential units within the Conservation Area will be firmly resisted as detrimental to the character and reducing the landscape environment of the area. Preservation of the landscape is seen as the principle objective within this Conservation Area.”

This quote was incomplete and members were advised by officers in verbal commentary that it read in full as:

“The insertion of new residential units within the Conservation Area on land forming part of the original estates of Kingsweston and Blaise Castle will be resisted as detrimental to the character and reducing the landscape component of the area. Preservation of the landscape is seen as the principle objective within this Conservation Area.”

Officers advised that they considered that this paragraph could not reasonably be applied to the application site. This view has subsequently been challenged by the representative of the Coombe Dingle Conservation Group in e-mail correspondence with the case officer. To best assist members, officers consider it of use to include this addendum report so that members may make an informed decision as to the weight to be placed upon this paragraph of PAN2.

The Coombe Dingle Conservation Group representative considers that this paragraph applies to the application site by virtue of the fact that the site and its surrounds once fell within the Blaise Estate, as set out in land registry titles dating from shortly after the turn of the 20th century. This is an important point as, if interpreted in the manner proposed by the Coombe Dingle Conservation Group, this paragraph in effect seeks to place a moratorium on all new residential development within this area. Officers consider that such a decision would not be reasonable on the basis set out below.

The paragraph does not refer to all land within and/or once within the estates but “land forming part of the original estates”. This is an important distinction. Whether this applies to this area of land depends on what is interpreted as the „original estate“. Officers concede that at what point one infers the „origin“ of the estate, which precedes the dates of the land titles referenced above, is open to interpretation. The estate is shown on the 1840s tithe map and the formal grounds of the estate were laid out in the 17-18th century. This is when officers would infer that the „origin“ of the estate could be concluded to have occurred. The concept of whether the application site fell within the „original estate“ could also be queried on the basis of whether the surrounding fields to the landscaped grounds (that would likely have been tenanted/leased), as they came under the same overall ownership, are within the original estate. These were originally areas of farmland that would not have formed a clear contiguous character with the landscaped estate but with the wider rural hinterland of Bristol and its surrounding villages.

Officers therefore consider that the „original estate“ refers to the parkland of the two estates (Blaise and Kingsweston) largely encompassed by the listed park and garden designations within the Conservation Area. Officers consider that it is for this reason that the referenced section does not simply state “within the Conservation Area” and this explains the lack of integration of Coombe Dingle within the original Conservation Area boundary. Moreover, PAN2 goes on to make a separate reference to Coombe Dingle within the last paragraph (para. 11) of the Conservation Area Enhancement Statement - General Enhancement Objectives, referring to the policies set out in the

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1988 Proposed Extension report. The 1988 Proposed Extension to the Conservation Area report makes a distinct reference to the Kingsweston Estate (as the Conservation Area was then known) and makes no claims for the extension of the Conservation Area to Coombe Dingle to be based upon historic original inclusion within the Blaise Estate. This suggests that at the time of extending the Conservation Area that these were considered to be distinct areas. This also appears to be indicated from other references to the Coombe Dingle area within PAN2 that are discussed below.

The final paragraph to PAN2 covering this Conservation Area specifically covers the Coombe Dingle area and sets out that the policies within the 1988 Proposed Extension to Coombe Dingle will be applied to this area. These policies set criteria for future development as set out in Key Issue B of the report to committee. Officers consider that the authors of PAN2 would not have made such a clear conflicting statement in referencing that these 1988 policies should be applied, which set criteria for further development within this area, while also asserting that no residential development is permissible within this area at all.

In addition, paragraph 13 of the Key Issues within PAN2 for this Conservation Area (as also quoted in Key Issue B of the report) identifies that within the Coombe Dingle and Trym Valley area that “There is a need to encourage a more sensitive approach to potential development, and protect the established layout and built form.” This infers that there is potential for some development. Officers consider that if the intention was that no residential development be considered acceptable within this area then it would have been made explicitly clear within this paragraph.

There have also been a handful of new developments within the Coombe Dingle area since PAN2 was published. Most recently the Inspector for the Pitchcombe Gardens site accepted that some form of residential development could occur on this adjoining site. Therefore, even were members to consider that this paragraph should be applied to this area, such an interpretation has been consistently not upheld and could not reasonably be applied. Officers however are of the view that the approach taken on these other sites is simply a reflection that the referenced paragraph does not apply to this area.

Members are therefore firmly recommended by officers that to refuse the scheme on the basis of this paragraph within PAN2 would not be reasonable.

- Copyright
- Rev: A
Date: 04.11.13
Amendment: Amendments based on comments
- Rev: B
Date: 06.11.13
Amendment: Cellweb construction note added
- Rev: C
Date: 06.11.13
Amendment: Amendments based on client comments
- Rev: D
Date: 08.11.13
Amendment: PV's Added
- Rev: E
Date: 12.11.13
Amendment: Amendments based on client comments
- Rev: F
Date: 03.03.14
Amendment: Amendments based on client comments
- Rev: G
Date: 12.03.14
Amendment: Amendments based planning comments

Planting Schedule

Wildflower and Rough Grass Area
(sow at 7g per m2 and as 7cm pots at 500mm centres)

Flowering species: (20% of mix)
Agrimonia eupatoria
Achillea millefolium
Galium mollugo
Silene dioica
Vicia sativa

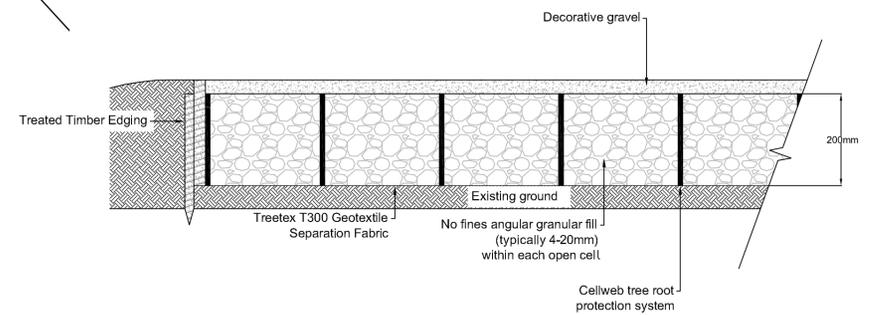
Grass species: (80% of mix)
Alopecurus pratensis
Holcus lanatus
Poa pratensis
Cynosurus cristatus

Grass areas
Seed Mix (sow at 3-5g per m2)
British Seed Houses WFG 11 Light Soils or similar

Hedges
Hazel- multi-stem, approx 2 meters height
Mixed native hedgerow- planted staggered double row, approx 90cm high in tubes.

Key

-  Boundary of ownership
-  Plot Boundary
-  Existing Trees
-  Proposed Hedgerow
-  Existing Hedgerow
-  Grass seeded area
-  Wild flowers and rough grasses area



Cellweb construction over root protection area
Not to Scale

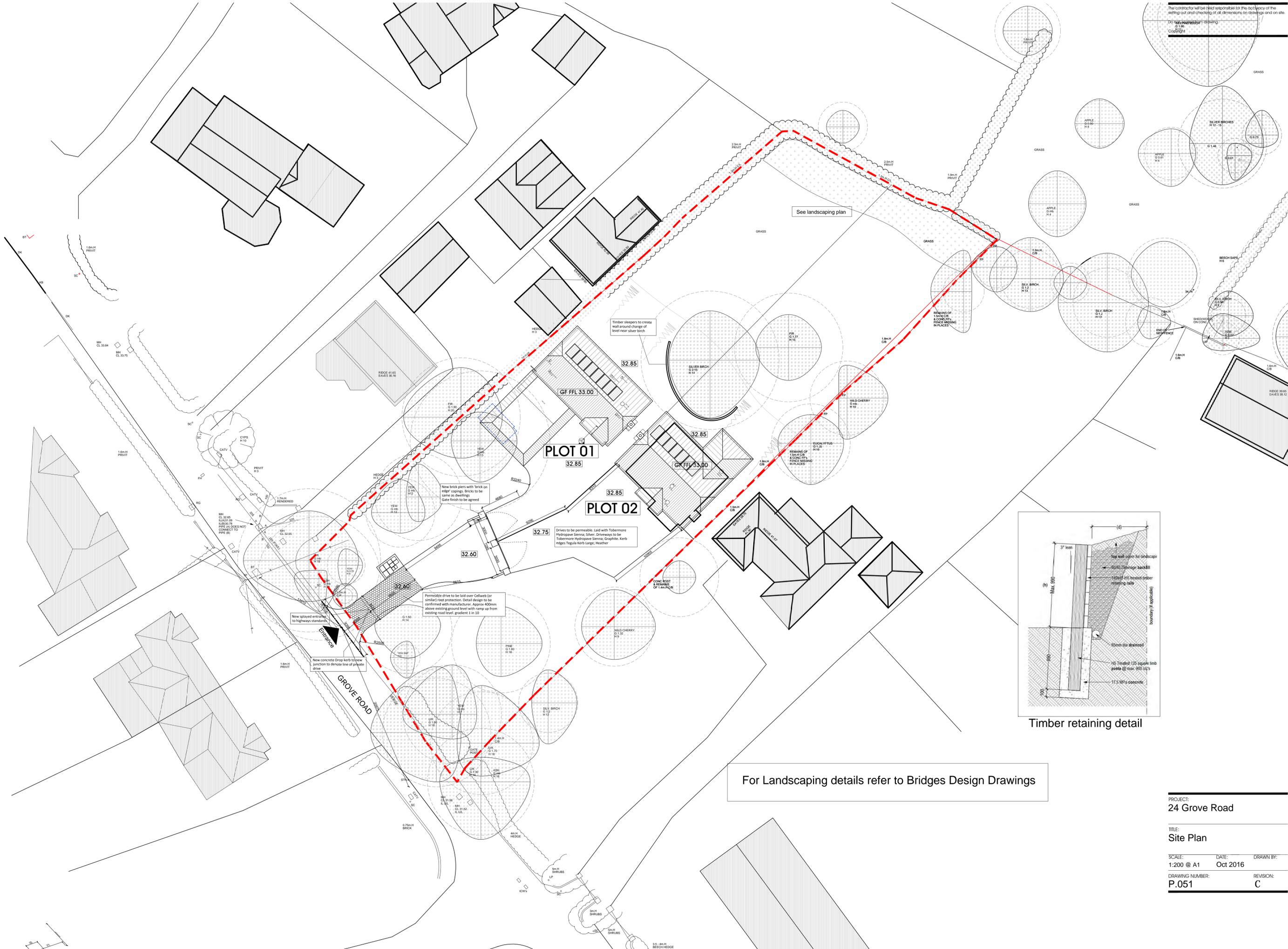
PROJECT:
Proposed development at 24 Grove Rd, Coombe Dingle

TITLE:
Proposed Landscaping Plan

SCALE: 1:200 @ A1
DATE: 12.03.14
DRAWN BY: MS

DRAWING NUMBER: 2857-PL2013-104
REVISION: G

The contractor will be held responsible for the occupancy of the setting out and checking of all dimensions on drawings and on site.
 DO NOT SCALE DRAWING
 © 1998
 Copyright



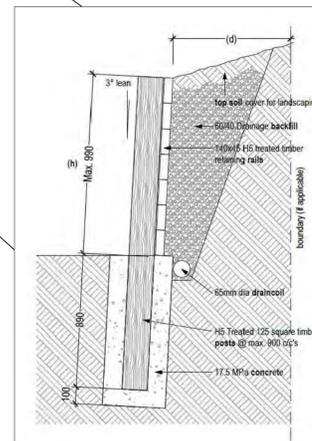
See landscaping plan

PLOT 01

PLOT 02

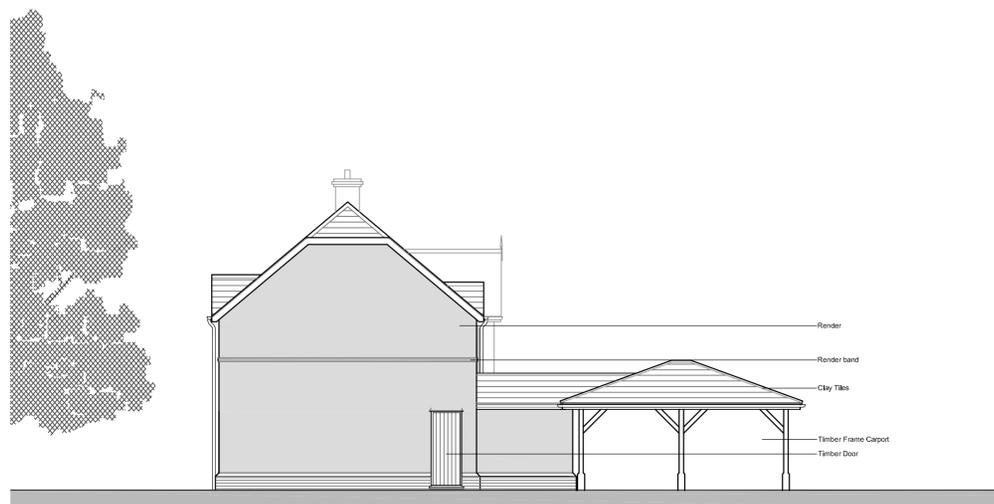
GROVE ROAD

For Landscaping details refer to Bridges Design Drawings



Timber retaining detail

PROJECT:		
24 Grove Road		
TITLE:		
Site Plan		
SCALE:	DATE:	DRAWN BY:
1:200 @ A1	Oct 2016	
DRAWING NUMBER:	REVISION:	
P.051	C	



Elevation 01
Side



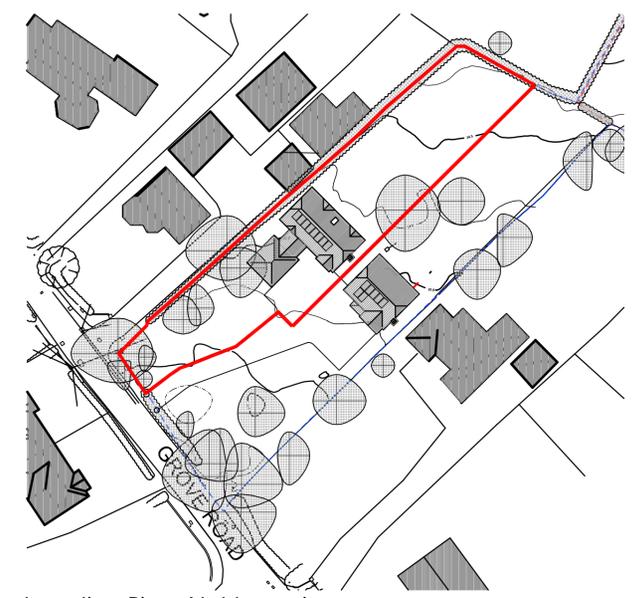
Elevation 02
Front



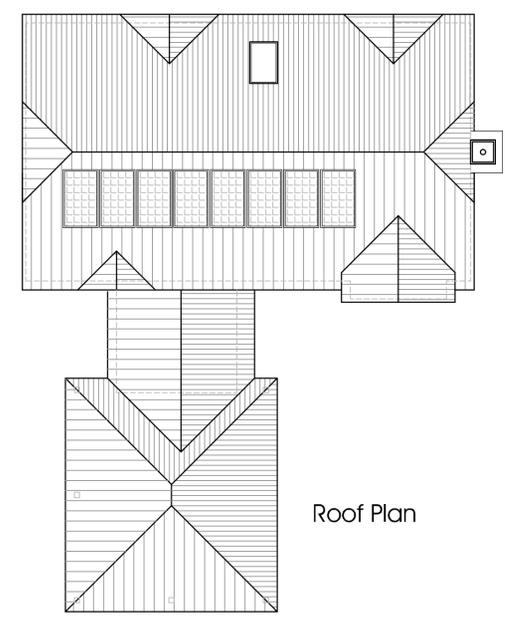
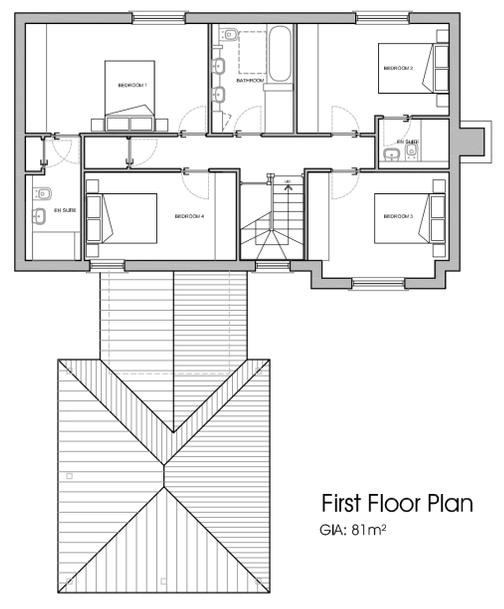
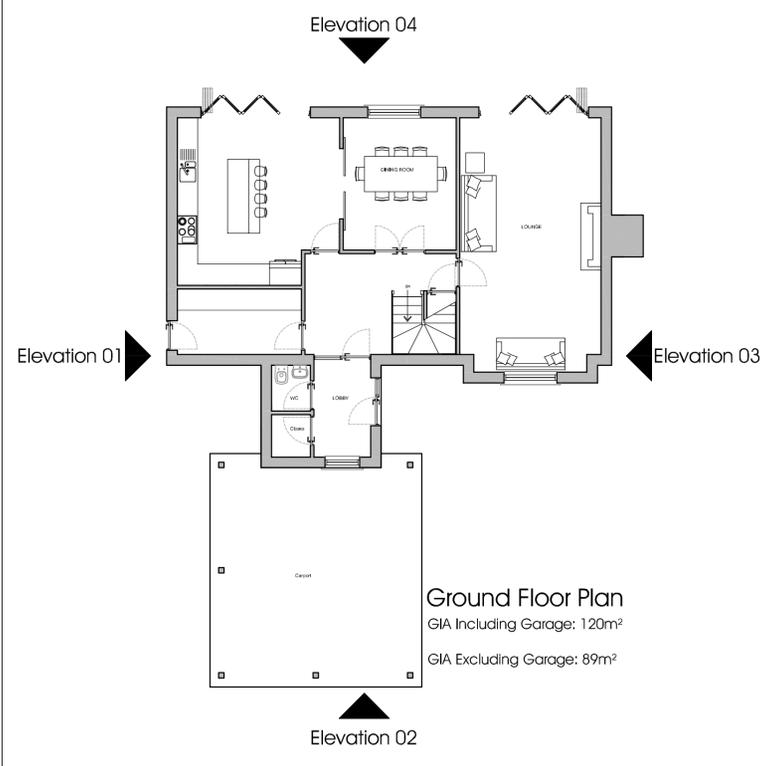
Elevation 03
Side



Elevation 04
Rear



Location Plan. Not to scale
(reference only)



- NOTES:
- 01 Render - weber Monocouche through colour. Colour: Pearl Grey.
 - 02 Brick - Forterra Hampton Rural Blend (red)
 - 03 Hanging Tile - Marley Eternit clay plain tile Acme. Colour: Mixed Brindle. External angles on bays and returns
 - 04 Roof Tile - Marley Eternit clay plain tile Acme. Colour: Mixed Brindle. 305mm half round Ridge Clay semi bonnet hip Clay Valley tile
 - 05 Timber Fascia & Barge board painted white with Upvc gutters. Colour: White.
 - 06 Double glazed timber sash windows to achieve 1.4W/mk. Colour: White
 - 07 Solar Panels: Exact number to be confirmed
 - 08 SunPipe



Side Elevation
North West Facing



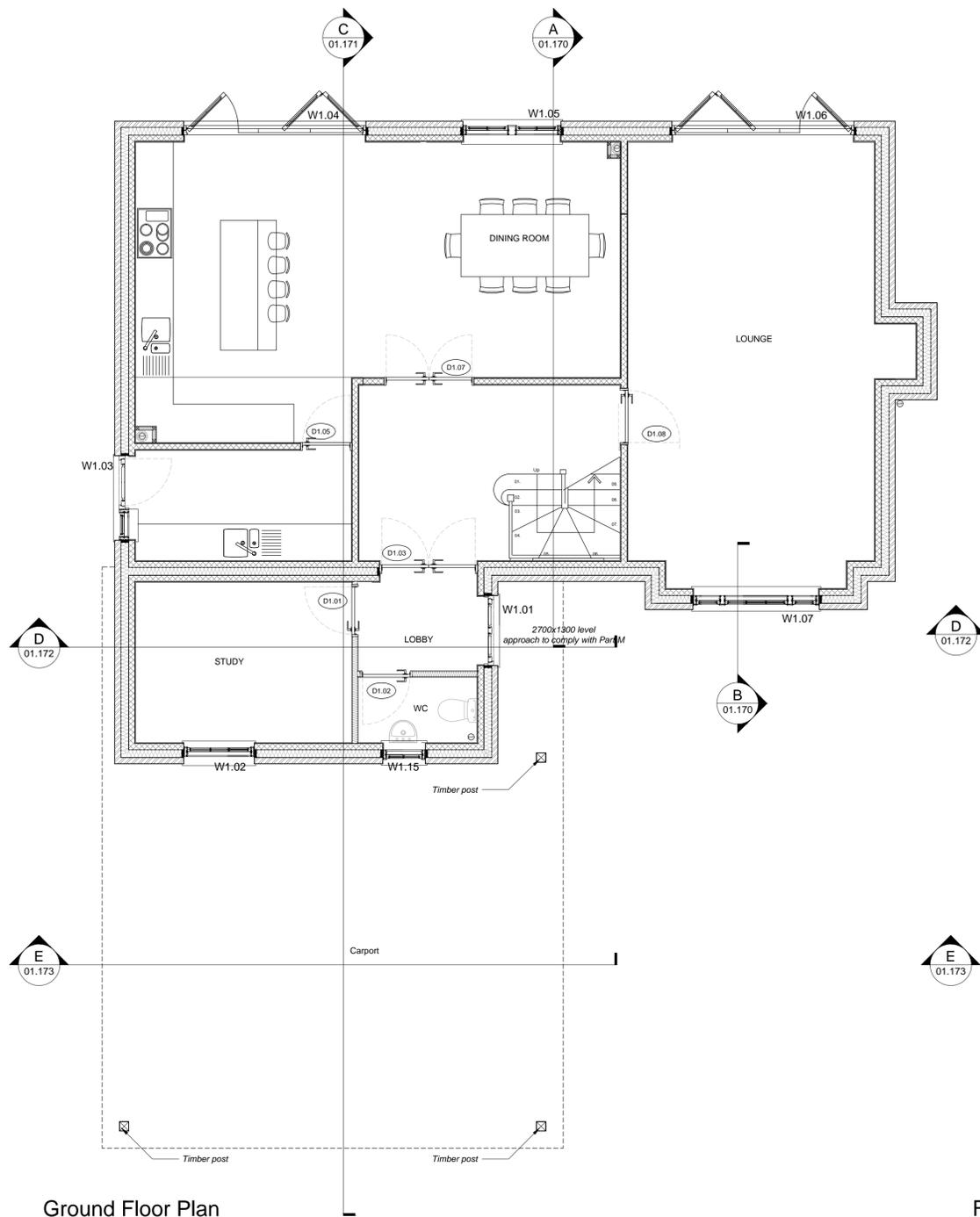
Front Elevation
South West Facing



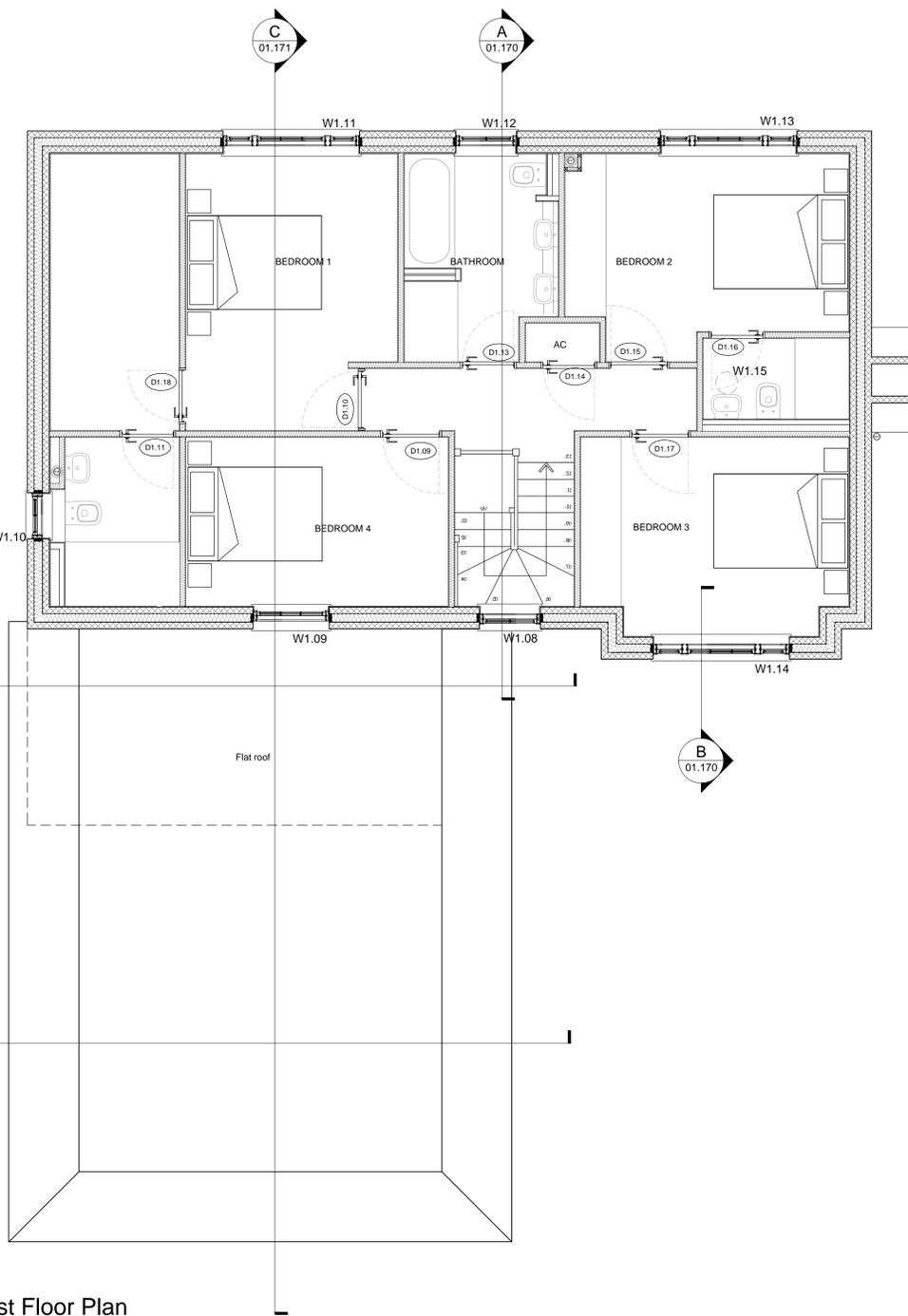
Side Elevation
South East Facing



Rear Elevation
North East Facing



Ground Floor Plan



First Floor Plan

FOUNDATIONS

As structural engineers details

FOUNDATION WALLS

All walls below ground to be in 7N/mm² solid concrete blocks to layout and thickness shown on drawings. Include brick faced plinth course to outer leaf directly below radon membrane/dpc level as shown on sections. Include s/s double triangular wall ties at centres specified for superstructure. Include 100 x 65 composite pcc lintels over drains passing through foundation walls. Fill cavities with weak mix concrete to level shown, include Glidevale telescopic Maxvents or similar underfloor vents and fittings in positions shown. Internal sleeper walls to be built with ventilation slips between pcc beams to assist underfloor cross ventilation.

GROUND FLOOR

- 75mm thick concrete screed over
- 150mm Celotex XR4000 or similar
- 1200g radon barrier
- Block and beam floor. Block and beam to manufacturers design and approved by structural engineer.

EXTERNAL WALLS

- Construct external cavity wall outer leaf facing
- Brickwork: Forterra Hampton Rural Blend (red) to string course. Dense concrete block from string course to eaves where rendered or tile hanging.
- 125mm wide cavity fully filled with 125mm Knauf DrTherm cavity insulation slab 32 or similar taken full height to top of wallplate level.
- Inner leaf of 100mm thermolite shield or similar including 75mm high courses as shown laid in 1:1:6 (cement: lime: sand) mortar, all in accordance with the manufacturer's recommendations. Build in bed joint reinforcement into both leaves of all two storey gable walls laid in every other bed joint.
- Render on medium dense concrete block to be WEBER Monocouche through colour: Silver Pearl.
- Vertical hanging Tile - Marley Eternit clay plain tile Acme. Colour: Mixed Brindle. Fixed to 38x25 battens set out as per manufacturers instruction on 38x38 counter battens at max 600mm centres. All timber battens to be tanalised sw timber battens fixed back to concrete block. Nilvent breather membrane behind. External angles on bays and returns. Headlap and side lap as manufacturers specifications

Finish internally with 12.5mm GYPROC plasterboard fixed on dabs with continuous seal around all external openings including 18mm GYPROC reveal board to underside of lintels over all openings.

Chimney breast in Sitting Room to be constructed up to dpc's at roof level in 7N/mm² concrete blockwork built off dpc's/radon membrane off foundation walls with facing brick externally, chimney to include concrete rebated round flue liners to client specification, throat lintol, flue liners and offsets all in accordance with the manufacturers recommendations, include 1:10 (insulation/cement) in void between liners and masonry flue. Flue above roof level constructed in facing brickwork, finish stack with clay pot bedded and flaunching in mortar. Hearth construction to be confirmed. Securely fix flue notice plate on wall adjacent to electricity consumer unit. Maximum wood burner 7.5kw

- Walls to include:
- Stainless steel wall ties at 750c/cs horizontally, 450c/cs vertically and staggered and 225c/cs vertically at all openings and at straight vertical joints.
 - S/S ties in every bed joint at vertical straight joints between blockwork and brickwork.
 - 250mm long s/s flat metal ties with debonding sleeves built in at 450c/cs vertically at movement joints in positions shown (M).
 - min 75mm high cavity tray dpc/radon barriers all round including weepholes at 900c/cs at ground floor dpc level.
 - Code 4 lead stepped abutment/cover flashings and soakers with stepped cavity tray dpc's and weepholes at roof abutments to external walls, CAVITY TRAYS LTD Type X Multicourse or similar.
 - Cavity tray dpc's over lintels, airbricks and meter boxes all with stop ends and weepholes.
 - Code 4 lead abutment flashings/cover flashings and 75mm high cavity tray dpc and weepholes at 900c/cs at the junction of the Porch roof with the front wall.
 - Code 4 lead soakers, back gutters, front aprons & cover flashings to chimneys.
 - THERMABATE 125mm or similar insulated cavity closers to jambs and cills of all openings including head of walls.
 - CATNIG lintels standard thermally broken lintels to flat heads with special semi circular arch lintels to brickwork heads, or similar approved lintels, all with 150mm end bearings and including cavity tray dpc's over with stop ends and weepholes (WH) at 900c/cs, min 2no.

FIRST FLOOR

- Floors generally to be
- 22 thick T&G moisture resistant V313 flooring grade chipboard with all free edges supported on 38 x 38 sw battens laid over
 - Clay 305mm half round Ridge and
 - Clay semi bonnet hip
- all fixed to manufacturers instruction. Galvanised mild steel hip irons at bottom of hips and proprietary through vent tiles to mechanical extracts and SVP's in positions shown.
- Fit nogginns as per manufacturers instruction at 400c/cs on lines of first floor partitions as necessary and between joists at hanger positions, include 30x150x1200 long galv ms wallplate restraint ms straps built into external walls and let through joist web and screwed to top of solid blockings between joists on line of straps, include wedges between end joists and external walls.
- 12.5mm plasterboard to underside

ROOFS

- Main roof structures to be at 35° formed with attic trusses at 600c/cs and including compound girder trusses, hips formed with compound hip trusses, mono trusses and hip mono trusses, infill with sw diminishing jack rafters at 600c/cs all as per specialist's details and roof plan.
 - Car port roof to be at 30° formed with hip trusses
- The whole of the truss roof to be designed, manufactured, supplied and erected by specialists, including all temporary and permanent bracing. Trusses to be fixed down with galv ms truss clips at eaves to 100c's treated sw wallplates bedded over and anchored down to top of walls with 30x150x1200 long galv ms wallplate straps, straps nailed to wallplates and fixed to walls with min. 4no screws per strap, include straps either side of joints in wallplates.
- Truss rafters to overall 350mm beyond external walls to support eaves overhang detail of
 - 200x25 painted softwood fascias and soffits (125mm fascia with treated exposed end rafters).
 - Valleys to be formed Clay Valley tile, laid over extra layer of Nilvent breather membrane down valleys, valleys formed over 12mm WBP ply valley boards laid over and spiked to trusses.
 - Roofs finished with HARLEY clay plain tile Acme. Colour: Mixed Brindle. Fixed as manufacturers instructions to 38 x 25 tanalised sw battens nailed to trusses over
 - KINGSPAN Nilvent breathable sarking membrane to main roofs and to porches and car ports, all sarking to have 150 min end and side laps, include standard eaves carriers fixed to rafters over fascias and dressed into the gutter over a PVC apron
 - 135mm Gyproc Cornice to ground floor (excluding utility).
 - Skirtings 125mm mdf square edge painted
 - Architraves 75mm mdf square edge painted

- Over fascia ventilator with rafter ventilator to provide min 10,000mm²/m ventilation
 - Clay 305mm half round Ridge and
 - Clay semi bonnet hip
- all fixed to manufacturers instruction. Galvanised mild steel hip irons at bottom of hips and proprietary through vent tiles to mechanical extracts and SVP's in positions shown.

RAINWATER GOODS

Black pvcu MARLEY or similar Deepflow gutters 120 x 75 fixed level in accordance with the manufacturer's recommendations on fascia brackets, gutters to discharge in to 68dia black pvcu rwp's in positions shown.

CEILINGS

Ground floor house ceilings below first floors finished with 12.5mm GYPROC Wallboard screw fixed with all edges supported on sw battens and to include 150mm ROCKWOOL sound insulation. Ceilings to roof spaces to be finished with 12.5mm GYPROC Wallboard screw fixed to u/s of roof trusses with all edges supported on sw battens. All penetrations to be sealed and all joints taped and filled ready to receive decorations. Insulate all ceilings to roof voids with 100mm ROCKWOOL quilt insulation laid between bottom cords of trusses plus 200mm ROCKWOOL quilt insulation laid over ensuring a tight fit is achieved at all edges. Ceiling hatches insulated as SIG speedline EK30 loft hatch with beaded edges or similar. Power and lighting to loft - Loft Ladder. 20sqm area to be boarded with T&G 22mm chipboard flooring.

INTERNAL WALLS

Ground floor walls where indicated on the drawings to be 100mm FIBOTHERM blockwork or similar, built as before off dpc's over radon membrane over beam and block floor, include 150x100 non-composite pcc lintols over openings with min 150 end bearings

Internal partitions to be 75x50 regularised sw studwork at 400c/cs with 75x50 sw sole and head plates and including two rows of solid sw nogginns, include 75mm ROCKWOOL sound insulation batts within studwork and finished either side with 12.5 GYPROC Wallboard screw fixed with all joints taped and filled ready to receive decorations. Ply patress' to kitchen and bathroom walls where required.

135mm Gyproc Cornice to ground floor (excluding utility).

Skirtings 125mm mdf square edge painted

Architraves 75mm mdf square edge painted

STAIRCASE

Hardwood staircase 1800mm total width to layout shown of 13no risers (total rise 2675), 250mm treads, 100 x 100 HW newel posts to stairs and landing, HW balustrade at 900mm over landing and pitch line of stairs with turned sw balusters at max 100c/cs (design strength 0.35KN/m²), flight to be under drawn with 12.5mm GYPROC Wallboard as before fixed to 50 x 50 sw framework within cupboard. Final balustrade design to be confirmed

EXTERNAL DOORS AND WINDOWS, INTERNAL DOORS

See window schedule for specification

Unless otherwise specified all external doors and windows to be purpose made timber to sizes as shown on the schedule, to include standard cills, draught sealing, double glazing including obscure glazing to bathrooms, include permanent trickle ventilation to provide 5000mm² to habitable rooms and 2500mm² to wet rooms. All frames to be sealed within reveals with foam and to include external sealants between frames and masonry and internal sealants after plastering.

Windows to Bedrooms to be fire escape windows with a min aperture when open of min 450 high and min 450 wide with a min clear area of 0.33sq.m, escape windows must NOT be lockable by any means.

All glazing below 800 above finished floor level and to all glazed doors and sidelight to be in toughened glass to BS6202: 1981 in accordance with Part N of The Building Regulations.

All internal windowboards to be 25 bullnose mdf painted white including internal sealants between window board and plaster.

Front door to house to include a ramped access to a level threshold with STORMGUARD weather strip, min clear door width 900mm.

VENTILATION

VENT AXIA mechanical extract ventilation units to be provided to Kitchen, Utility Room, toilet and Bathrooms to give extraction rates as specified and controlled as follows: -

- Kitchens - variable speed (min 30/sec) manual control located over cooker
- Utility Rooms - through light switch and humidity switch with max 15 min overrun (min 15/sec)
- Bathrooms - through light switch and humidity switch with max 15 min overrun (min 15/sec)
- Toilet - through light switch with max 15 min overrun (min 15/sec)

Extract units to be either through wall units with external grille and gravity louvers or through roof tile vents in positions shown.

SMOKE ALARMS

Hard wired smoke and heat detector alarm system with standby power supply, installed in accordance with the relevant recommendations of BS 5839-6:2004 to at least Grade B category LD3 standard (large dwelling). Smoke alarms to be mains operated and conform to BS5446 wired by separate fused circuit back to the mains distribution board in accordance with current IEE regulations, smoke detectors in habitable rooms and heat detector in the Kitchens. Carbon monoxide detector to lounge with wood burning stove and utility room with gas powered combi boiler. All detectors are to be interconnected.

ELECTRICAL INSTALLATION

The electrical installation is to be designed, installed, tested and commissioned in complete compliance with 16th Edition of Regulations for Electrical Installations' including amendments. On completion the electrician shall provide an Installation and Test Certificate signed for approval by the Local Authority.

Switches and sockets in habitable rooms to be installed between 450 and 1200 above finished floor level. See electrical drawings.

Energy efficient lighting points to be installed to all rooms.

CENTRAL HEATING/HOT & COLD WATER

Central heating to be provided by Worcester Greenstar 30CDI Classic system or similar located in the Utility Room serving LPHW to steel panel radiators in all rooms each fitted with thermostatic and lockshield radiator valves, also controlled via a 24hr/7 day programmer, zoned room stats in the ground floor hall and on the first floor landing.

Hot water provided from gas boiler 250litre cylinder with los factor no greater than 1.90kW/day with cylinder thermostat, fully insulated primary pipework and on separate timer to main heating. Cylinder located in airing cupboard on first floor.

All CH/HWS primary circuits, gravity pipework, secondary loops and all pipework laid below ground floor level or in unheated spaces to be fully insulated.

The design, installation, commissioning and maintenance of the hot and cold water plumbing installations shall be by an approved plumber who must certify compliance on completion and issue the necessary Compliance Certificate. Plumbing materials and fittings must meet the standards set out in the Regulations.

The building owner/occupier is to be given a set of operating and maintenance instructions for the heating and hot water installations on completion by the installer.

The whole of the gas installation to be undertaken by a Gas Safe registered plumber.

WASTE PLUMBING

Waste plumbing to be installed in pvcu to BS4514 and BS5255 in accordance with the manufacturer's instructions to the sizes and layout shown on the drawings as follows:

- WC's to P traps to 100mm dia branches laid to 1:80 min fall
- Basin wastes to 75mm deep seal traps to 32 dia wastes laid to 1:40 min fall
- Bath wastes to 75mm deep seal traps to 40 dia wastes laid to min 1:40 fall
- Showers to top access trapped access wastes to 40 dia waste laid to min 1:40 fall, waste from Kitchen sinks to pass through external wall and to discharge over a trapped access gully with grated cover.

Access is to be provided to all waste runs in excess of 3m at changes in direction (RA), 100mm dia branches to be vented where shown. All wastes to discharge into 100 dia SVP's in positions shown, SVP's to have rodding access at 600 above finished ground floor level and terminate at roof level with a through tile vents. SVP's to be encapsulated in ROCKWOOL quilt sound insulation within vertical ducts and horizontal branches within the first floor voids. SVP's to discharge via slow radius bends into 100mm dia foul drains to layout shown.

GENERAL

All lead to be to BS EN 12588:1999 Rolled Lead Sheet to codes specified and installed in strict accordance with good practice described in "Lead Sheet in Buildings" published by the Lead Development Association.

No combustible material to be built into the works within 50mm of the outer face of any masonry flue.

All products, components and/or materials referred to on the drawings or in these construction notes are to be installed into the works in strict accordance with the manufacturer's instructions.

The completed buildings shall be pressure tested in accordance with a procedure approved by the Secretary of State and a Certificate to that effect shall be issued by a person registered by the British Institute of Non-destructive Testing in respect of pressure testing for the air tightness of buildings, which shall then be submitted to the Local Authority for approval.

Bird boxes and bat boxes built into soffits. Designs to be approved by Ecologist.

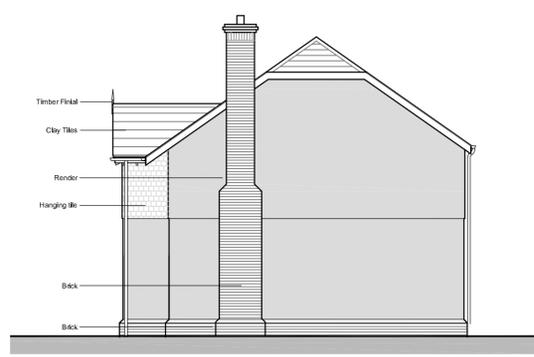
PROJECT:
24 Grove Road & land off Pitchcomb Gardens

TITLE:
Plot 01 Floor Plans General Arrangement

SCALE: 1:50 @ A1
DATE: May 2016
DRAWN BY:
REVISION:
2936.C.1.100 J



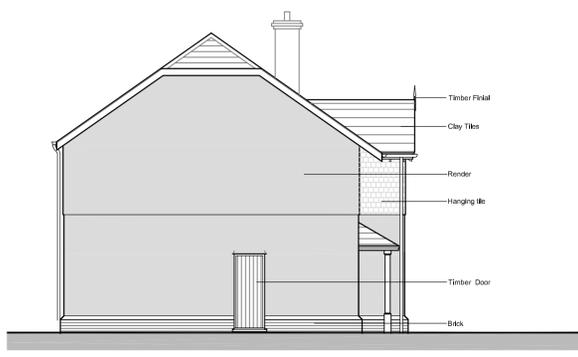
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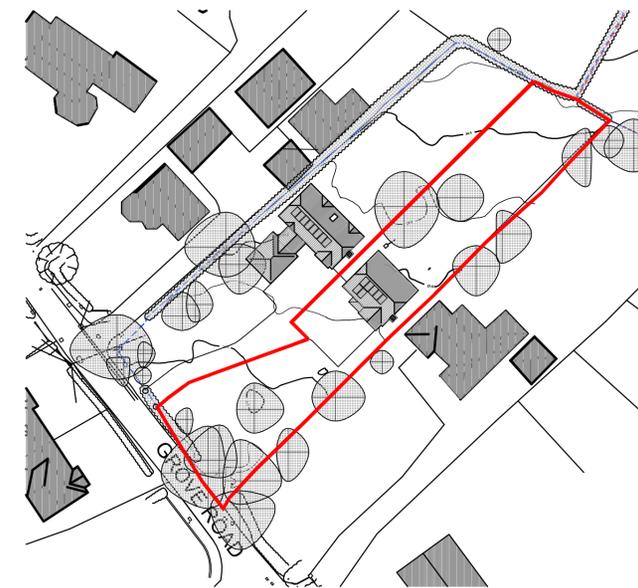
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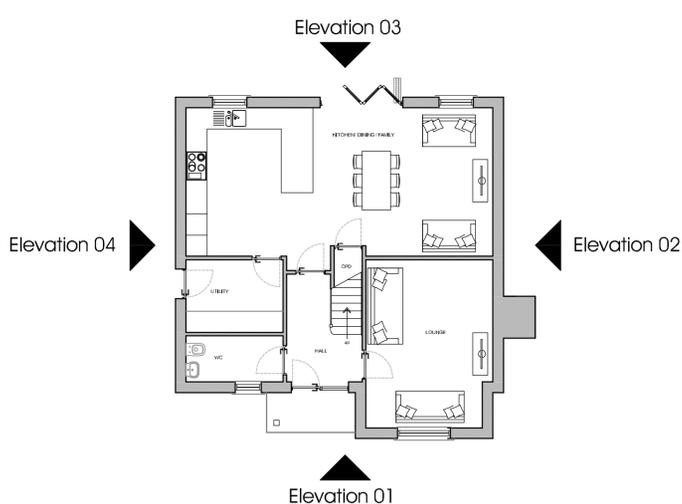
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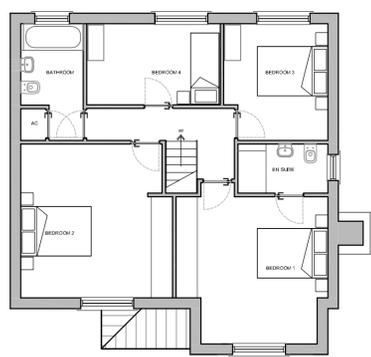
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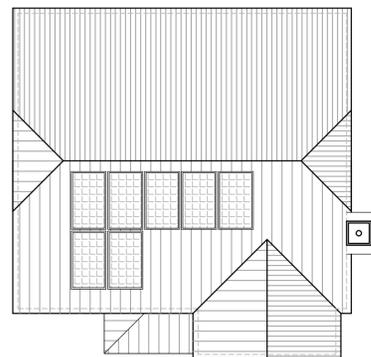
Location Plan. Not to scale
(Reference only)



Ground Floor Plan
GIA : 71m²



First Floor Plan
GIA : 71m²



Roof Plan



Front Elevation
South West Facing



Side Elevation
North West Facing

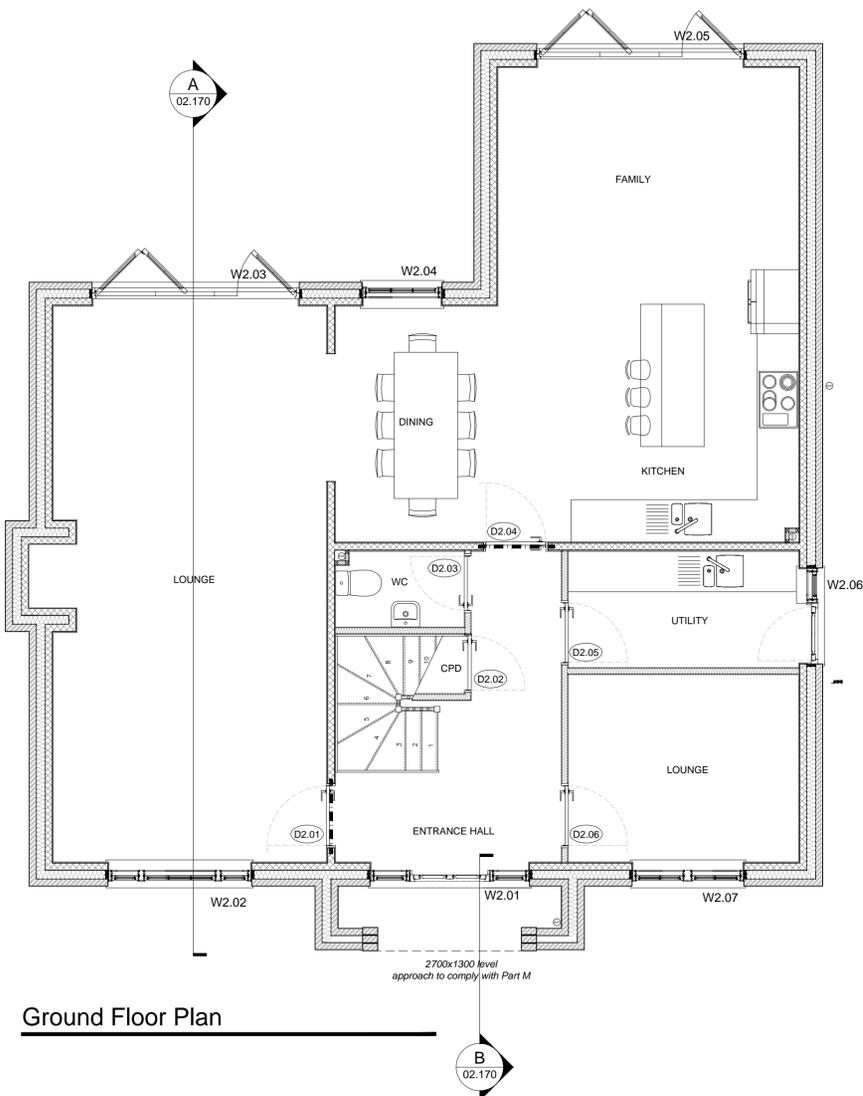


Rear Elevation
North East Facing

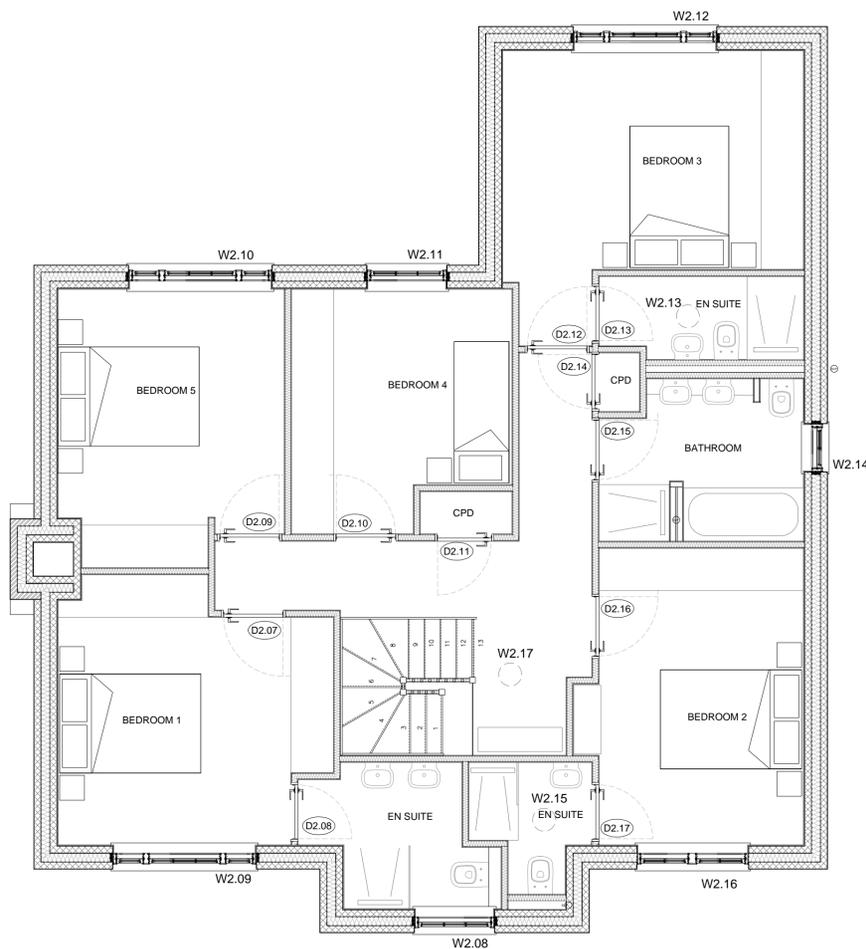


Side Elevation
South East Facing

- NOTES:
- 01 Render - weber Monocouche through colour. Colour: Pearl Grey.
 - 02 Brick - Forterra Hampton Rural Blend (red)
 - 03 Hanging Tile - Marley Eternit clay plain tile Acme. Colour: Mixed Brindle. External angles on bays and returns
 - 04 Roof Tile - Marley Eternit clay plain tile Acme. Colour: Mixed Brindle. 305mm half round Ridge Clay semi bonnet hip Clay Valley tile
 - 05 Timber Fascia & Barge board painted white with Upvc gutters. Colour: White
 - 06 Double glazed timber sash windows to achieve 1.4W/mk. Colour: White
 - 07 Solar Panels: Exact number to be confirmed
 - 08 SunPipe



Ground Floor Plan



First Floor Plan

FOUNDATIONS

As structural engineers details

FOUNDATION WALLS

All walls below ground to be in 7N/mm² solid concrete blocks to layout and thickness shown on drawings. Include brick faced plinth course to outer leaf directly below radon membrane/dpc level as shown on sections. Include s/s double triangular wall ties at centres specified for superstructure. Include 100 x 65 composite pcc lintels over drains passing through foundation walls. Fill cavities with weak mix concrete to level shown, include Gildevale telescopic Maxvents or similar underfloor vents and fittings in positions shown. Internal sleeper walls to be built with ventilation slips between pcc beams to assist underfloor cross ventilation.

GROUND FLOOR

- 75mm thick concrete screed over
- 150mm Celotex XR4000 or similar
- 1200g radon barrier
- Block and beam floor. Block and beam to manufacturers design and approved by structural engineer.

EXTERNAL WALLS

Construct external cavity wall outer leaf of facing

- Brickwork: Forterra Hampton Rural Blend (red) to string course. Dense concrete block from string course to eaves where rendered or tile hanging.
- Brick arch to be constructed by bricklayer using formwork and brick key stone. Alternatively feature lintel from Keystone Lintels can be installed using brick slips custom made from bricks delivered to site
- 125mm wide cavity fully filled with 125mm Kraul DIT term cavity insulation slab 32 or similar taken full height to top of wallplate level,
- Inner leaf of 100mm thermolite shield or similar including 75mm high courses as shown laid in 1:1:6 (cement:lime:sand) mortar, all in accordance with the manufacturer's recommendations. Built in bed joint reinforcement into both leaves of all two storey gable walls laid in every other bed joint.
- Render on medium dense concrete block to be WEBER Monocouche through colour: Silver Pearl.
- Vertical hanging Tile - Marley Etemit clay plain tile Acme. Colour: Mixed Brindle. Fixed to 38x25 battens set out as per manufacturers instruction on 38x38 counter battens at max 600mm centres. All timber battens to be tanalised sw timber battens fixed back to concrete block. Nilvent breather membrane behind. External angles on bays and returns. Headlap and side lap as manufacturers specifications

Finish internally with 12.5mm GYPROC plasterboard fixed on dabs with continuous seal around all external openings including 18mm GYPROC reveal board to underside of lintols over all openings.

Chimney breast in Sitting Room to be constructed up to dpc's at roof level in 7N/mm² concrete blockwork built off dpc's/radon membrane off foundation walls with facing brick externally, chimney to include concrete rebated round flue liners to client specification, throat lintol, flue liners and offsets all in accordance with the manufacturers recommendations, include 1:10 (insulation/cement) in void between liners and masonry flue. Flue above roof level constructed in facing brickwork, finish stack with clay pot bedded and launched in mortar. Hearth construction to be confirmed. Securely fix flue notice plate on wall adjacent to electricity consumer unit. Maximum wood burner 7.5kw

Walls to include: Stainless steel wall ties at 750c/cs horizontally, 450c/cs vertically and staggered and 225c/cs vertically at all openings and at straight vertical joints.

- S/S ties in every bed joint at vertical straight joints between blockwork and brickwork.
- 250mm long s/s flat metal ties with debonding sleeves built in at 450c/cs vertically at movement joints in positions shown (M).
- min 75mm high cavity tray dpc/radon barriers all round including weepholes at 900c/cs at ground floor dpc level.
- Code 4 lead stepped abutment/cover flashings and soakers with stepped cavity tray dpc's and weepholes at roof abutments to external walls, CAVITY TRAYS LTD Type X Multicourse or similar.
- Cavity tray dpc's over lintels, airbricks and meter boxes all with stop ends and weepholes.
- Code 4 lead abutment flashings/cover flashings and 75mm high cavity tray dpc and weepholes at 900c/cs at the junction of the Porch roof with the front wall.
- Code 4 lead soakers, back gutters, front aprons & cover flashings to chimneys.
- THERMABATE 125mm or similar insulated cavity closers to jambs and cills of all openings including head of walls.
- CATNIC lintels standard thermally broken lintels to flat heads with special semi circular arch lintels to brickwork heads, or similar approved lintels, all with 150mm end bearings and including cavity tray dpc's over with stop ends and weepholes (WH) at 900c/cs, min 2no.

FIRST FLOOR

Floors generally to be

- 22 thick T&G moisture resistant V313 flooring grade chipboard with all free edges supported on 38 x 38 sw battens laid over
- 245mm Post-joints at 400c/cs all per specialist's layout and installed in accordance with the manufacturers instructions. Joints to be supported on galv ms joist hangers built into external walls, floor to include all trimmers, strutting, stiffeners and hangers as specified by the supplier. Fit noggins as per manufacturers instruction at 400c/cs on lines of first floor partitions as necessary and between joints at hanger positions, include 30x150x1200 long galv lateral restraint ms straps built into external walls and let through joist web and screwed to top of solid blockings between joists on line of straps, included wedges between end joists and external walls.
- 12.5mm plasterboard to underside

ROOFS

- Main roof structures to be at 35° formed with attic trusses at 600c/cs and including compound girder trusses, hips formed with compound hip trusses, mono trusses and hip mono trusses, infill with sv diminishing jack rafters at 600c/cs all as per specialist's details and roof plan.
- Car port roof to be at 30° formed with hip trusses

The whole of the truss roof to be designed, manufactured, supplied and erected by specialists; including all temporary and permanent bracing. Trusses to be fixed down with galv ms truss clips at eaves to 100x5 treated sw wallplates bedded over and anchored down to top of walls with 30x150x1200 long galv ms wallplate straps, straps nailed to wallplates and fixed to walls with min. 4no screws per strap, include straps either side of joints in wallplates.

- Truss rafters to overall 350mm beyond external walls to support eaves overhang detail of
- 200x25 painted softwood fascias and soffits (125mm fascia with treated exposed end rafters).
- Valleys to be formed Clay Valley tile, laid over extra layer of Nilvent breather membrane down valleys, valleys formed over 12mm WBP ply valley boards laid over and spiked to trusses.
- Roofs finished with MARLEY clay plain tile Acme. Colour: Mixed Brindle. Fixed as manufacturers instructions to 38 x 25 tanolised sw battens nailed to trusses over
- KINGSPAN Nilvent breathable sarking membrane to main roofs and to porches and car ports, all sarking to have 150 min end and side laps, include standard eaves carriers fixed to rafters over fascias and dressed into the gutter over a PVC apron
- Over fascia ventilator with rafter ventilator to provide min 10,000m²/m ventilation
- Clay 305mm half round Ridge and
- Clay semi bonnet hip all fixed to manufacturers instruction. Galvanised mild steel hip irons at bottom of hips and proprietary through vent tiles to mechanical extracts and SVP's in positions shown.

RAINWATER GOODS

Black pvcu MARLEY or similar Deepflow gutters 120 x 75 fixed level in accordance with the manufacturers instructions. Joists to be supported on galv ms joist hangers built into external walls, floor to include all trimmers, strutting, stiffeners and hangers as specified by the supplier.

CEILING

Ground floor house ceilings below first floors finished with 12.5mm GYPROC Wallboard screw fixed with all edges supported on sw battens and to include 150mm ROCKWOOL sound insulation. Ceilings to roof spaces to be finished with 12.5mm GYPROC Wallboard screw fixed to u/s of roof trusses with all edges supported on sw battens. All penetrations to be sealed and all joints taped and filled ready to receive decorations. Insulate all ceilings to roof voids with 100mm ROCKWOOL quilt insulation laid between bottom cords of trusses plus 200mm ROCKWOOL quilt insulation laid over ensuring a tight fit is achieved at all edges. Ceiling hatches insulated as SIG speedline EK30 loft hatch with beaded edges or similar. Power and lighting to loft. Loft Ladder. 20sqm area to be boarded with T&G 22mm chipboard flooring.

INTERNAL WALLS

Ground floor walls where indicated on the drawings to be 100mm FIBROTHERM blockwork or similar, built as before off dpc's over radon membrane over beam and block floor, include 150x100 non-composite pcc lintols over openings with min 150 end bearings. Internal partitions to be 75x50 regularised sw studwork at 400c/cs with 75x50 sw sole and head plates and including two rows of solid sv noggins, include 75mm ROCKWOOL sound insulation batts within studwork and finished either side with 12.5 GYPROC Wallboard screw fixed with all joints taped and filled ready to receive decorations. Ply patress' to kitchen and bathroom walls where required. 135mm Gyproc Cornice to ground floor (excluding utility). Skirtings 125mm mdf square edge painted Architraves 75mm mdf square edge painted

STAIRCASE

Hardwood staircase 1800mm total width to layout shown of 13no risers (total rise 2675), 250mm treads, 100 x 100 HW newel posts to stairs and landing, HW balustrade at 900mm over landing and pitch line of stairs with turned sw balusters at max 100c/cs (design strength 0.35kN/m²). Flight to be under drawn with 12.5mm GYPROC Wallboard as before fixed to 50 x 50 sw framework within cupboard. Final balustrade design to be confirmed

EXTERNAL DOORS AND WINDOWS, INTERNAL DOORS

See window schedule for specification

Unless otherwise specified all external doors and windows to be purpose made timber to sizes as shown on the window schedule, to include standard cills, draught sealing, double glazing including obscure glazing to bathrooms, include permanent trickle ventilation to provide 5000mm² to habitable rooms and 2500mm² to wet rooms. All frames to be sealed within reveals with foam and to include external sealants between frames and masonry and internal sealants after plastering. Windows to Bedrooms to be fire escape windows with a min aperture when open of min 450 high and min 450 wide with a min clear area of 0.33sqm, escape windows must NOT be lockable by any means. All glazing below 800 above finished floor level and to all glazed doors and side light to be in toughened glass to BS6202: 1981 in accordance with Part N of The Building Regulations. All internal windowboards to be 25 bullose mdf painted white including internal sealants between window board and plaster.

Front door to include a ramped access to a level threshold with STORMGUARD weather strip, min clear door width 775mm.

VENTILATION

VENT AXIA mechanical extract ventilation units to be provided to Kitchen, Utility Room, toilet and Bathrooms to give extraction rates as specified and controlled as follows: -

- Kitchens - variable speed (min 30/sec) manual control located over cooker
- Utility Rooms - through light switch and humidity switch with max 15 min overrun (min 15l/sec)
- Bathrooms - through light switch and humidity switch with max 15 min overrun (min 15l/sec)
- Toilet - through light switch with max 15 min overrun (min 15l/sec)

SMOKE ALARMS

Hard wired smoke and heat detector alarm system with standby power supply, installed in accordance with the relevant recommendations of BS 5839-6:2004 to at least Grade B category LD3 standard (large dwelling). Smoke alarms to be mains operated and conform to BS5446 wired by separate fused circuit back to the mains distribution board in accordance with current IEE regulations, smoke detectors in habitable rooms and heat detector in the Kitchens. Carbon monoxide detector to lounge with wood burning stove and utility room with gas powered combi boiler. All detectors are to be interconnected.

ELECTRICAL INSTALLATION

The electrical installation is to be designed, installed, tested and commissioned in complete compliance with 16th Edition of 'Regulations for Electrical Installations' including amendments. On completion the electrician shall provide an Installation and Test Certificate signed for approval by the Local Authority. Switches and sockets in habitable rooms to be installed between 450 and 1200 above finished floor level. See electrical drawings. Energy efficient lighting points to be installed to all rooms.

CENTRAL HEATING/HOT & COLD WATER

Central heating to be provided by Worcester Greenstar 30CDI Classic system or similar located in the Utility Room serving LPHW to steel panel radiators in all rooms each fitted with thermostatic and lockshield radiator valves, also controlled via a 24hr/7 day programmer, zoned room stats in the ground floor hall and on the first floor landing. Hot water provided from gas boiler 250litre cylinder with los factor no greater than 1.90kWh/day with cylinder thermostat, fully insulated primary pipework and on separate timer to main heating. Cylinder located in airing cupboard on first floor.

All CH/HWS primary circuits, gravity pipework, secondary loops and all pipework laid below ground floor level or in unheated spaces to be fully insulated. The design, installation, commissioning and maintenance of the hot and cold water plumbing installations shall be by an approved plumber who must certify compliance on completion and issue the necessary Compliance Certificate. Plumbing materials and fittings must meet the standards set out in the Regulations. The building owner/occupier is to be given a set of operating and maintenance instructions for the heating and hot water installations on completion by the installer.

The whole of the gas installation to be undertaken by a Gas Safe registered plumber.

Secondary room heating in Lounge to be provided by a HETAS approved closed room heater, wood burning only. Supply and fix within the Utility Room adjacent to the electricity consumer unit a robust and securely fixed Chimney notice plate conveying the information set out in Diagram 1.9 of Regulation J4.

WASTE PLUMBING

Waste plumbing to be installed in pvcu to BS4514 and BS5255 in accordance with the manufacturer's instructions to the sizes and layout shown on the drawings as follows:

- WC's to P traps to 100mm dia branches laid to 1:80 min fall
- Basin wastes to 75mm deep seal traps to 32 dia wastes laid to 1:40 min fall
- Bath wastes to 75mm deep seal traps to 40 dia wastes laid to min 1:40 fall
- Showers to top access trapped access wastes to 40 dia waste laid to min 1:40 fall
- Sink wastes to 75mm deep seal traps to 40 dia waste laid to min 1:40 fall, waste from Kitchen sinks to pass through external wall and to discharge over a trapped access gully with grated cover.

Access is to be provided to all waste runs in excess of 3m at changes in direction (RA), 100mm dia branches to be vented where shown. All wastes to discharge into 100 dia SVP's in positions shown, SVP's to have rodding access at 600 above finished ground floor level and terminate at roof level with a through tile vents. SVP's to be encapsulated in ROCKWOOL quilt sound insulation within vertical ducts and horizontal branches within the first floor voids. SVP's to discharge via slow radius bends into 100mm dia foul drains to layout shown.

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All lead to be to BS EN 12588:1999 Rolled Lead Sheet to codes specified and installed in strict accordance with good practice described in "Lead Sheet in Buildings" published by the Lead Development Association. No combustible material to be built into the works within 50mm of the outer face of any masonry flue. All products, components and/or materials referred to on the drawings or in these construction notes are to be installed into the works in strict accordance with the manufacturer's instructions. The completed buildings shall be pressure tested in accordance with a procedure approved by the Secretary of State and a Certificate to that effect shall be issued by a person registered by the British Institute of Non-destructive Testing in respect of pressure testing for the air tightness of buildings, which shall then be submitted to the Local Authority for approval.

Bird boxes and bat boxes built into soffits. Designs to be approved by Ecologist.

PROJECT: 24 Grove Road & land off Pitchcoomb Gardens

TITLE: Plot 02 Floor Plans General Arrangement

SCALE: 1:50 @ A1 DATE: May 2016 DRAWN BY: CGT

DRAWING NUMBER: 2936.C.2.100 REVISION: F

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